



AGENDA

MONDAY, January 14, 2019 @ 6:00 PM

KENNEWICK CITY HALL, COUNCIL CHAMBER

210 W. 6TH AVE, KENNEWICK, WA 99336

Procedure for Participation

- Please sign in if you wish to receive a copy of the decision when it is issued and if you plan to give testimony.
- When recognized by the Examiner, state your name, address and whether you are representing only yourself or others.
- All remarks, comments, and questions should be addressed to the Hearing Examiner and not to the audience or parties. You may offer written comments or other items (such as photographs) to the Hearing Examiner as an exhibit for the permanent record. Please provide at least three (3) copies of each item submitted: one copy for the Hearing Examiner, one for the Official Record, and one for Staff). During an Appeal Hearing, if the appellant and the applicant are different parties, then a fourth copy of all documentation is requested.

I. CALL TO ORDER

II. PROCEDURAL INFORMATION

III. PUBLIC HEARING

- A. Preliminary Plat (PP) No. 18-04/PLN-2018-02625, "Midtown Village" proposing to develop approximately 2.47 acres of land into 30 lots. The site is generally located at 3908 W. 7th Avenue. The site is currently zoned Residential, Medium Density (RM), the Comprehensive Plan designation is Medium Density Residential. The applicant is Jaya Holdings, LLC, Mallikarjuna R. Vallem, Ph.D, 11364 Kensington Way, Richland, WA 99352-7871. The property owner is AR Holdings, LLC, Mallikarjuna R. Vallem, Ph.D, 11364 Kensington Way, Richland, WA 99352-7871.
- B. Appeal (APPEAL) No. 18-01/PLN-2018-03440, an appeal of the Preliminary Short Plat approval for Short Plat (SP) No. 18-13/PLN-2018-03440. The site is generally located at 5500 W. 10th Avenue. The applicants are Veronika Hanson Pitkoff & Gilbert Pitkoff, 5310 W. 8th Avenue, Kennewick, WA 99336. The property owner is Scott Ridgeway, 169 Bear Drive, Richland, WA 99352.

IV. ADJOURN



COMMUNITY PLANNING DEPARTMENT
STAFF REPORT AND RECOMMENDATION TO
THE HEARING EXAMINER

FILE No: PP 18-04/PLN-2018-02625

Staff Report Date: January 3, 2018

Public Hearing Date and Location: January 14, 2018, Kennewick City Hall

Report Prepared By: Steve Donovan, Planner

Report Reviewed By: Gregory McCormick, AICP, Planning Director

Summary Recommendation: The City of Kennewick RECOMMENDS that Preliminary Plat 18-04 be APPROVED with conditions.

Summary of Proposal: A Preliminary Plat proposed to subdivide 2.47 acres into 30 lots.

Proposal Location: 3908 W 7th Avenue, Parcel Number 1-0389-302-0042-005

Legal Description: A portion of the southeast quarter of the northwest quarter of Section 18, Township 8 North, Range 30 East, W.M., Benton County, Washington, more particularly described as follows:
 Lot2 of Short Plat 691, as recorded with the Benton County Auditor in Volume of Short Plats at Page 691 Records of Benton County Washington,

Property Owner(s): AR Holdings, LLC
 c/o Mallikarjuna R. Vallem, Ph.D
 11364 Kensington Way
 Richland, WA 99352-7871

Applicant: Jaya Holdings, LLC
 c/o Mallikarjuna R. Vallem, Ph.D
 11364 Kensington Way
 Richland, WA 99352-7871

Engineer: Caleb Stromstad, PE

Surveyor: AHBL, Inc.
 c/o John Becker, PLS

5804 Road 90, Suite H
Pasco, WA 99301

- Approval Criteria:**
1. Comprehensive Plan – Land Use
 2. Kennewick Municipal Code (KMC) Title 18 – Zoning
 3. KMC Title 17 – Subdivisions
 4. KMC Section 5.56 – Public Works Construction Standards
 5. Washington State Environmental Policy Act

Preliminary Plat Key Application Processing Dates:

Pre-Application/Feasibility Meeting	March 28, 2018
Application Submittal	August 27, 2018
Determination of Completeness Issued	August 27, 2018
Notice of Application	September 6, 2018
Property Posting Sign	September 6, 2018
City Department Review Meeting	September 12, 2018
SEPA Threshold Determination Issued	DNS, December 20, 2018
SEPA Appeal Period Ends	January 3, 2018
Date of Published Notice of Public Hearing	December 30, 2018
Date of Mailed Notice of Public Hearing	December 26, 2018

Exhibits:

1. Staff Report
2. Application
3. Notice of Public Hearing, 300-ft. mailing list and mailing affidavit
4. Preliminary Plat
5. Fire Hydrant and Fire Access Map, dated 12/05/18
6. Preliminary Grading Plan, dated 12/05/18
7. Determination of Non-Significance, dated 12/20/2018
8. Email from Greg Duffy, Parks Department, dated 9/06/18
9. Email from Chad Brooks, Benton PUD, dated 9/07/18
10. Memorandum – Public Works Department, dated 9/11/18
11. Memorandum – Traffic Engineering Division, dated 9/17/18
12. Plat map showing City of Kennewick GIS Department comments.
13. Letter from Mike DeKlyen, Field Realty Specialist, Bonneville Power Administration, dated 9/20/18
14. Letter from Kennewick Irrigation District, dated 9/27/18
15. Memorandum – Fire Department Memorandum, dated 12/12/18
16. Letter from Brandon Potts, Kennewick School District Capital Projects Director, dated 12/13/18
17. Email from Nate Higgins, dated 9/10/18
18. Email from Nathan Joshlin, dated 9/18/18
19. Email from Leonardo Luzi, 9/21/18

Staff Analysis of Proposal & Discussion:

The proposed Preliminary Plat (PP 18-04) is a request for the subdivision of 2.47 acres into 30 lots. The project is generally located north of 3908 W 7th Avenue. Access to the site is via W 7th Avenue. The site has a Comprehensive Plan Land-Use Designation of Medium Density Residential and is zoned Residential, Medium Density (RM).

A Preliminary Plat (KMC 17.10) is the first step in a subdivision process for subdivisions with more than nine (9) lots and is an approval for overall lot layout and compliance with land use regulations. A Final Plat is required to create lots for preliminary plats and is the last phase in the subdivision process, and must be recorded prior to the creation of individual lots. Final plat approval is based on the Preliminary Plat conditions of approval. A civil permit with a detailed review of street, utility and stormwater construction standards, and street and utility construction or bonding for incomplete work is required prior the final plat approval. Additionally, the City of Kennewick's Residential Design Standards apply to this project.

Property History:

The subject property was annexed into the City in August 1975 and zoned RM via Ordinance 1855.

Density/Lot Size:

Per the Table of Residential Development Standards (KMC 18.12.010 A.2) the Residential, Medium Density (RM) zoning district has a maximum density of 13 units per acre and the following minimum lot sizes:

- Single-Family: 4,000 square feet
- Rowhouse/Townhouse: 1,800 square feet

The average lot size of the development is 2,806 square feet with the smallest lot proposed being 1,884 square feet and the largest lot proposed is 7,887 square feet. The applicant has proposed 30 lots with 32 residential units on-site.

Staff Comment: The preliminary plat as proposed meets the Residential Development Standards contained in KMC 18.12.010(A.2), and is subject to the Residential Design Standards.

Traffic:

The current traffic mitigation fee is \$982 per dwelling unit for single family and \$556 per dwelling unit for multi-family which will be required per the City of Kennewick's traffic mitigation ordinance (Ord. 5596). The \$982 and \$556 Traffic Impact Fees will have a cost of living increase adjustment in 2019. Traffic mitigation fees can be paid at the time of building permit issuance or deferred until occupancy with a recorded covenant of payment obligation form.

Storm Water:

Storm drainage facilities shall be in accordance with the Storm Management Manual and Eastern Washington and City Standards.

Residential sub-divisions storm drainage systems to be dedicated to the public shall be designed to retain and dispose of the calculated difference between a 25-year 24 hour event for the developed state and the 24-hour event for the natural pre-developed state. Detention ponds (control outlet) may be used only where it can be clearly demonstrated that infiltration, or retention, are not feasible per City of Kennewick Standard Specifications Section 5-9.02. Provide infiltration testing at the location and depth of the planned infiltration structures as well as a soils log 5 feet below that point, see Exhibit 10.

Streets & Utilities:

The following is only a portion of the comments and conditions provided in Exhibit 10:

The developer shall provide and install 1-inch water services for each lot at his or her expense per City of Kennewick Standard Specification Section 4-3.01.

Each dwelling unit shall be separately and independently connected to sewer main unless the connection is 6-inch or larger in diameter per KMC 14.22.030.

Parks:

The proposal is in Park Service Area 1 and subject to a \$920 park fee for each of the 28 single family units and a \$540 park fee for each unit in the two multi-family buildings. Park fees are due at the time the building permit is issued.

Critical Areas:

The site does not contain any designated critical areas.

Schools:

The boundary schools for the proposed development are Edison Elementary (Bussing Zone), Highlands Middle School (Walking Zone) and Southridge High School (Bussing Zone).

Surrounding Property:

The adjacent properties consist of single family residences and a middle school. Properties farther to the east do have duplexes on them. The land use designations for the surrounding properties are Medium Density Residential and open Space which is zoned Residential, Medium Density and Open Space.

Staff Comment: It is staff's opinion that the proposed Preliminary Plat will be harmonious with the existing uses on the adjacent properties.

Provisions for Public Health, Safety, and Welfare:

The proposed development will be constructed to City of Kennewick Residential Design Standards and the applicable requirement of the Kennewick Municipal Code.

Staff Comment: It is staff's opinion that appropriate provisions have been made for, but not limited to, the public health, safety, and general welfare, for open spaces, drainage ways, streets or roads, alleys, public sidewalks, utility easements and other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation areas, playgrounds, schools and school grounds, and the proposed subdivision has considered all other relevant facts and other planning features that assure safe walking conditions for students who walk to and from school.

Comprehensive Plan:

Staff is of the opinion that this request is consistent with and generally conforms to the City's Comprehensive Plan, and it will implement, goals and policies of the Comprehensive Plan. Particularly the following:

RESIDENTIAL GOAL 1: "Provide for attractive, walkable, and well-designed residential neighborhoods, with differing densities and compatible with neighboring areas."

POLICY 1: "Maintain residential zoning regulations that offer a similar graduation in building scale and bulk."

POLICY 2: "Require multi-family housing to incorporate architectural forms and features compatible with the surrounding neighborhood. Features that promote compatibility include landscaping, setbacks, rooflines and building forms that reduce the appearance of bulk.

Staff Comment: The proposed Preliminary Plat is consistent with the Comprehensive Plan Land Use and complies with development standards for Residential Medium Density (RM) zoning district. Similar housing types and lot layouts are in the in the general area of the proposed development.

RESIDENTIAL GOAL 2: "Provide appropriate public facilities supporting residential areas."

POLICY1: "Ensure provision of parks, schools, drainage, transit, water, sanitation, infrastructure and pedestrian in new residential developments."

POLICY 2: "Encourage irrigation service throughout residential areas, when available, to support and maintain healthy landscaping."

POLICY 3: "Deny residential developments if concurrency is not met for transportation, water, and sewer, or appropriately condition."

Staff Comment: The proposed development will be constructed with the required infrastructure improvements that meet applicable standards.

RESIDENTIAL GOAL 3: "Promote a variety of residential densities with a minimum density target of 3 units per acre as averaged throughout the urban area."

POLICY 3: "Residential Medium Density – Place areas that can support high-quality, compact, urban development with the access to urban services, transit, and infrastructure, whether through new development or through infill."

Staff Comment: The proposed infill development will provide both single family and multi-family housing.

The City of Kennewick hereby RECOMMENDS that Preliminary Plat 18-04 be APPROVED with the following conditions:

1. Comply with City of Kennewick regulatory controls, policies and codes, including the Residential Design Standards.
2. A landscape plan must be submitted for approval of all common areas, open spaces and rights-of-way not left in a natural state, listing the number, location, and species of trees, sizes of plant material, and ground cover prior to final plat approval. The landscape plan shall be prepared by a licensed landscape architect or licensed landscape installer drawn to a legible scale.
3. All fees required by the City shall be paid prior to the approval of the final plat.
4. Address the proposed lots as labeled by the City of Kennewick GIS Department. (Exhibit 12)
5. Comply with the Fire Department Memorandum. (Exhibit 15)
6. Comply with the Traffic Engineering Division comments. (Exhibit 11)
7. Comply with the Memorandum – Public Works Department. (Exhibit 10)
8. A maintenance agreement for the access easement that serves Lots 17 and 18 will need to be recorded with the final plat.
9. Provide dust control method(s) such as hydro seeding for all areas of the site that are disturbed.
10. The Preliminary Plat (PP 18-04) expires 5 years from the approval date. The City may grant an extension, but any extension application must be applied for before the approved preliminary plat expires.

Report Prepared By and Contact Person:

Steve Donovan, Planner

steve.donovan@ci.kennewick.wa.us 509-585-4361



PP 18 - 05 / PLN- 2018 - 02625 Fee \$ 2,224.00

Preliminary Plat Application

Date: 08/22/2018 Name Of Plat Highlands Preliminary Plat

Area Of Plat: 2.47 Acres Zoning: RM6 #/Lots: 30

Min. Lot Size: 1,800 sf Average Lot Size: 2,806 sf

Proposed Land Use: Single Family Residential Townhome and Duplex Units.

General Location: North of West 7th Ave, West of Perry Court

Parent Parcel Numbers: 1-0389-302-0042-005

Applicant Name: Jaya Holdings, LLC. c/o Mallikarjuna R. Vallem, PhD.

Address: 1364 Kensington Way

City, State, Zip: Richland, WA 99352-7871

Phone Number: 619.400.7845 E-mail malliksss@gmail.com

Owner's Name: AR Holdings, LLC. c/o Mallikarjuna R. Vallem, PhD.

Address: 1364 Kensington Way

City, State, Zip: Richland, WA 99352-7871

Phone Number: 619.400.7845 E-mail malliksss@gmail.com

Surveyor's Name: AHBL Inc. c/o John Becker, PLS

Address: 5804 Road 90, Suite H

City, State, Zip: Pasco, WA 99301

Phone Number: 509.380.5883 E-mail jbecker@ahbl.com

Engineer's Name: AHBL Inc. c/o Caleb Stromstad, PE

Address: 5804 Road 90, Suite H

City, State, Zip: Pasco, WA 99301

Phone Number: 509.380.5883 E-mail cstromstad@ahbl.com

Plat Will Be Served By: (Check Those Which Apply)

Telephone Co:	Verizon	☐	Other	☐
Water System:	Well	☐	Private	☐
Sewer System:	Septic	☐	City	☒
Natural Gas:	Yes	☒	No	☐
Cable Tv:	Yes	☒	No	☐

Irrigation District: Kennewick Irrigation District Power: PUD BPUD

I certify that the information given above is true and complete to the best of my knowledge.

SIGNATURE OF APPLICANT: J. Mallikarjun Reddy

This preliminary plat is being submitted with my consent.

SIGNATURE OF OWNER: J. Mallikarjun Reddy

Received by: _____ Date: _____ Fee paid: _____

SEPA Checklist

ESA Supplement

Ownership Report

Date Received Stamp



NOTICE OF MAILING

I, Steve Donovan, on December 26, 20 18
mailed 40 copies of Public Hearing Notice
for PP18-04/PLN-2018-02625
to property owners within 300 feet of site.

as shown on the attached list.



Signature

37
Glenn Boeshaar
309 Bradley Blvd Ste 115
Richland WA 99352

37
Fidelina Mendez
3815 W 4th Ave Apt B
Kennewick WA 99336

37
Kennewick School District #17
1000 W 4th Ave
Kennewick WA 99336

37
John Dehart
4017 W 4th Ave
Kennewick WA 99336

37
Robert Taylor
504 S Olson St
Kennewick WA 99336

37
Leonardo Luzi
3912 W 7th Ave
Kennewick WA 99336

37
Nate Higgins
3918 W 7th Ave
Kennewick WA 99336

37
Teryl Wattenburger
4105 W 7th Avenue
Kennewick WA 99336

37
Kevin Dement
428 S Olson St
Kennewick WA 99336

37
Samuel Morris
430 S Olson St
Kennewick WA 99336

37
Agustin Padilla
426 S Quillan St
Kennewick WA 99337

37
Jeff Robinson
6815 W 20th Ave
Kennewick WA 99338

37
John Dyes
427 S Quillan
Kennewick WA 99336

37
Fillafer Trustee B Jean & Glen Lee
3701 W 48th Ave
Kennewick WA 99337

37
Judith White
415 S Quillan Pl
Kennewick WA 99336

37
Bruce Reid
20 Ridgeview Dr
Pasco WA 99301

37
Nicholas Robinson
614 Perry Court
Kennewick WA 99336

37
Glenda Zeithami
608 S Perry Ct
Kennewick WA 99336

37
Ray Schmierer
534 Perry Ct
Kennewick WA 99336

37
Larry Tomlinson
528 Perry Ct
Kennewick WA 99336

37
Timothy Horton
3904 W 7th Ave
Kennewick WA 99336

37
Jeff Robinson
6815 W 20th Ave
Kennewick WA 99338

37
Galen Freed, Jr
3916 W 7th Ave
Kennewick WA 99336

37
William Flager
4003 W 7th Ave
Kennewick WA 99336

37
Conner Palmer
500 S Olson St
Kennewick WA 99336

37
Insy Somnuk
421 S Quillan St
Kennewick WA 99336

37
William Reneau, II
1160 Harbor Side Dr
Blaine WA 98230

37
Darin Rodabaugh
7218 W 6th Pl
Kennewick WA 99337

37
Blanca Reyna
602 S Perry Ct
Kennewick WA 99336

37
Debra Davis
522 S Perry Ct
Kennewick WA 99336

37
David Kippes
518 S Perry Ct
Kennewick WA 99336

37
Nathan Joshlin
512 S Perry Ct
Kennewick WA 99336

37
Pardini, David A & Margaret I
506 S Perry Ct
Kennewick WA 99336

37
Michael Fulton
500 S Perry Ct
Kennewick WA 99336

37
Bruce Donlin
505 S Perry Ct
Kennewick WA 99336

37
Camille Wright
511 S Perry Ct
Kennewick WA 99336

37
Shane Kelly
517 S Perry Ct
Kennewick WA 99336

37
Vernabe Torres
523 S Perry Ct
Kennewick WA 99336

37
Maricella Salazar
529 S Perry Ct
Kennewick WA 99336

37
AR Holdings
Mallikarjuna R Vallem PhD
1364 Kensington Way
Richland WA 99352

37

37

37

37

37

37

37

37

37

37

37

37

37

37

37

37

37

37

**NOTICE OF PUBLIC HEARING****PLAT MAP ON BACK**

Proposal: An application for a preliminary plat has been submitted by Jaya Holdings, LLC, 1364 Kensington Way, Richland, WA 99352-7871. The site is generally located at 3908 W 7th Avenue and consists of a 2.47 acre lot proposed to be divided into 30 lots. The smallest lot size is 1,884 square feet, the largest lot size is 7,887 square feet and the average lot size is 2,806 square feet. The site is zoned Residential Medium Density (RM) and is subject to Residential Design Standards. The Comprehensive Plan designation for the site is Medium Density Residential. The file number is PP 18-04/PLN-2018-02625.

Open Record Hearing: The City of Kennewick Hearing Examiner will conduct an open record hearing at 6:00 p.m. on **January 14, 2019** in the Council Chambers in Kennewick City Hall at 210 W. 6th Avenue, Kennewick, WA 99336. Testimony will be taken at this meeting.

Public Comment Period: Comments submitted before 4:30 p.m. on January 7, 2019 will be included in the Hearing Examiner's meeting packet. Comments after January 7, 2019 can be submitted at the Public Hearing. If you have questions on the proposal, contact Steve Donovan, Planner at (509) 585-4361 or via e-mail at steve.donovan@ci.kennewick.wa.us.

Environmental Documents and/or Studies Applicable to this Proposal: A Determination of Non-significance, ED 18-32 was issued on December 20, 2018.

Determination of Completeness: The application was determined complete on August 28, 2018 for the purpose of processing.

Project Permits Associated with this Proposal: None

Preliminary Determination of Regulations Used for Project Mitigation: Title 18 (Zoning), Title 17 (Subdivision), Title 4 (Administrative Procedures) of the Kennewick Municipal Code and the land use policies contained in the Kennewick Comprehensive Plan.

Estimated Date of Decision: Within 10 business days of the Hearing Date of January 14, 2019.

To Receive Notification of the Decision: Contact the Development Services Division at 210 W. 6th Avenue, Kennewick, WA 99336 or via telephone at (509) 585-4280.

Appeal: Any person aggrieved by the decision of the Kennewick Hearing Examiner on this proposal may appeal to the Superior Court of Benton County within twenty-one (21) days of the date of decision.

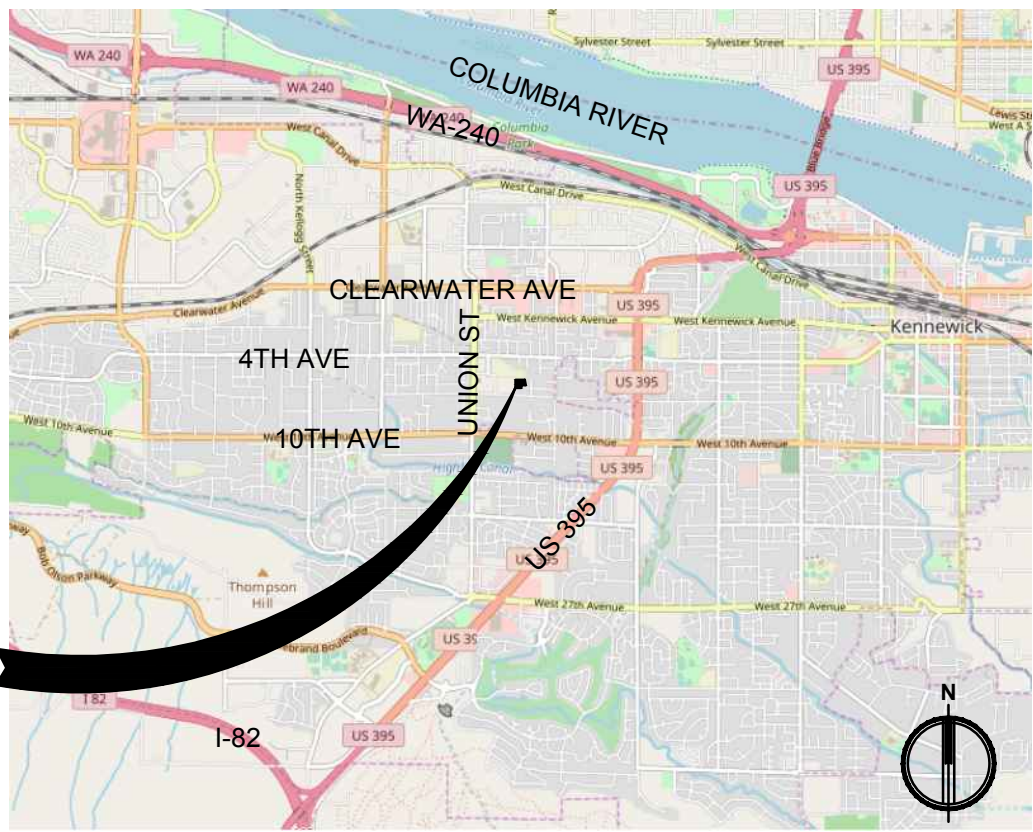
Steve Donovan, Planner

The City of Kennewick welcomes full participation in public meetings by all citizens and does not discriminate on the basis of disability, pursuant to the requirements of the American with Disabilities Act of 1990, pub. L 101-336. No qualified individual with a disability shall be excluded or denied the benefit of participating in such meetings. If you wish to use auxiliary aids or require assistance to comment at this public meeting, please contact the City of Kennewick, Steve Donovan, Development Services Department at (509) 585-4361 or TDD (509) 585-4425 or through the Washington Relay Service Center TTY at #711 at least ten days prior to the date of the meeting to make arrangements for special needs.

210 W. Sixth Avenue / PO Box 6108, Kennewick WA 99336

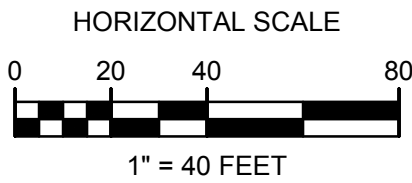
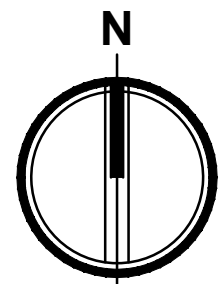
MIDTOWN VILLAGE PLAT

A PORTION OF THE NE 1/4 OF THE SW 1/4 OF SEC. 03, TWN. 08 N., RGE. 29 E. W.M.
CITY OF KENNEWICK, BENTON COUNTY, WASHINGTON.



PROJECT
SITE

VICINITY MAP
NOT TO SCALE



USE

RESIDENTIAL MEDIUM (RM6)

DEVELOPMENT TABLE

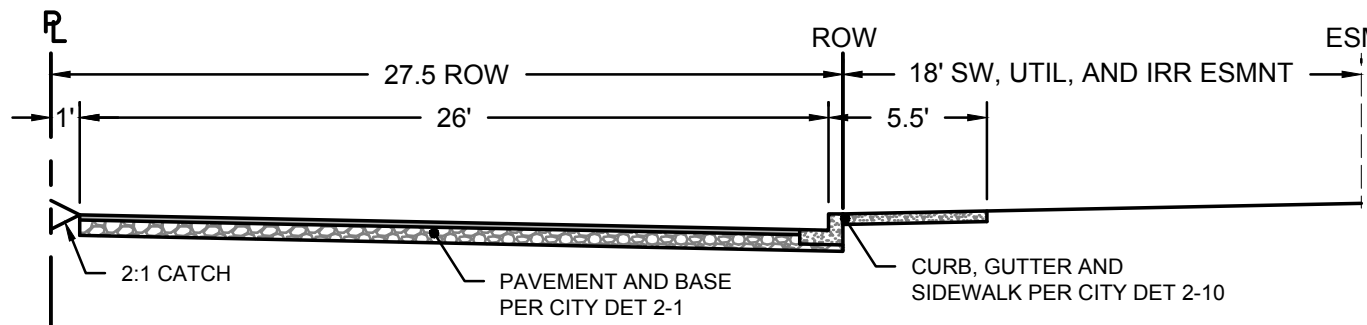
TOTAL AREA:	2.47 AC
TOTAL NUMBER OF LOTS:	30 (32 UNITS)
MINIMUM LOT SIZE:	1,884 SF (LOT 24)
MAXIMUM LOT SIZE:	7,887 SF (LOT 17)
AVERAGE LOT SIZE:	2,806 SF
TOTAL RIGHT-OF-WAY:	23,781 SF

FIRE SPRINKLER NOTE

UNLESS AN APPROVED SECONDARY EMERGENCY VEHICLE ACCESS IS PROVIDED, ALL PROPOSED DWELLING UNITS SHALL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED IN COMPLIANCE WITH NFPA 13D.

LEGEND

EXISTING	SET NAIL AND WASHER
SET REBAR AND CAP	FOUND PROPERTY CORNER
MAIL BOX	SIGN AS NOTED
STORM MANHOLE	SANITARY SEWER MANHOLE
GAS METER	GAS VALVE
UTILITY POWER POLE	JUNCTION BOX
FIRE HYDRANT	HOSE BIB
IRRIGATION CONTROL VALVE	WATER METER
WATER VALVE	DECIDUOUS TREE
STORM LINE	SEWER LINE
WATER LINE	GAS LINE
ELECTRICAL LINE	COMMUNICATION LINE
OVERHEAD UTILITIES	FENCE



RD A 3/4 SECTION
NTS

KEY NOTES

- PROPOSED GRAVITY SEWER AND WATER CONNECTION
- ENCROACHING FENCE TO BE RELOCATED DURING CONSTRUCTION
- UNOBSTRUCTED EMERGENCY ACCESS ROUTE TO BE PROVIDED
- CONNECTING RD A AND RD C. "EMERGENCY ACCESS/NO PARKING" SIGNS TO BE INSTALLED.

LEGAL DESCRIPTION

PER CASCADE TITLE COMPANY OF BENTON-FRANKLIN COUNTY
ORDER NO. CBF6594 MARCH 28, 2018

THAT PORTION OF LOT 42, THE HIGHLANDS PLAT B, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 3, RECORDS OF BENTON COUNTY, WASHINGTON, LYING WESTERLY OF THE KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY, EXCEPT THE WEST 80 FEET THEREOF, AND EXCEPT THE SOUTH 249 FEET THEREOF, AND EXCEPT THE EAST 140 OF THE NORTH 126 FEET OF THE SOUTH 375 FEET AS MEASURED ALONG THE WEST LINE THEREOF, ALSO THAT PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL: ALL OF LOTS 2, 3 AND 4 OF SHORT PLAT #1-846, AS RECORDED IN VOLUME 1 OF SHORT PLATS AT PAGE 846, RECORDS OF BENTON COUNTY AUDITOR, AND A PORTION OF THE VACATED KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY, LOCATED IN SECTION 3, TOWNSHIP 8 NORTH, RANGE 29 EAST W.M., CITY OF KENNEWICK, BENTON COUNTY WASHINGTON DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 1 OF SAID SHORT PLAT #1-846, RECORDS OF BENTON COUNTY AUDITOR; THENCE NORTH 03°02'48" EAST ALONG THE EAST LINE OF SAID LOT 1 A DISTANCE OF 324.57 FEET TO A POINT ON THE EASTERLY LINE OF SAID VACATED KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY; THENCE NORTH 86°57'12" WEST 20.00 FEET TO THE CENTERLINE OF SAID CANAL RIGHT OF WAY AND A POINT ON A CURVE TO THE LEFT, THE RADIUS POINT OF WHICH BEARS NORTH 86°57'12" WEST A DISTANCE OF 305.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE 54.06 FEET; THENCE SOUTH 82°53'31" WEST 20.00 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAID CANAL RIGHT OF WAY AND A POINT ON A CURVE TO THE LEFT, THE RADIUS POINT OF WHICH BEARS SOUTH 82°53'31" WEST 285.00 FEET; THENCE NORTHERLY ALONG SAID CURVE AND SAID WEST RIGHT OF WAY LINE 1.68 FEET; THENCE NORTH 07°26'46" WEST ALONG SAID WEST CANAL RIGHT OF WAY 162.51 FEET; THENCE NORTH 15°46'43" EAST 86.64 FEET TO A POINT ON THE WESTERLY EXTENSION OF THE NORTH LOT LINE OF SAID LOT 4; THENCE SOUTH 87°19'32" EAST ALONG THE NORTH LINE OF SAID LOTS 3 AND 4 A DISTANCE OF 248.91 FEET TO THE NORTHEAST CORNER OF SAID LOT 3; THENCE SOUTH 01°03'54" WEST ALONG THE EAST LINES OF SAID LOTS 2 AND 3 A DISTANCE OF 622.76 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF CITY STREET KNOWN AS WEST 7TH AVENUE; THENCE NORTH 86°57'12" WEST ALONG SAID NORTHERLY RIGHT OF WAY 215.17 FEET TO THE SAID POINT OF BEGINNING.

APPLICANT

JAYA HOLDINGS, LLC.
1364 KENSINGTON WAY
RICHLAND, WA 99352-7871
PH: 619.400.7845
CONTACT: MALLIKARJUNA R. VALLEM, PhD

OWNER

AR HOLDINGS, LLC.
1364 KENSINGTON WAY
RICHLAND, WA 99352-7871

CIVIL ENGINEER

AHBL INC.
5804 ROAD 90, SUITE H
PASCO, WA 99301
PH: 509.380.5883
CONTACT: CALEB STROMSTAD, PE

SURVEYOR

AHBL INC.
5804 ROAD 90, SUITE H
PASCO, WA 99301
PH: 509.380.5883
CONTACT: JOHN BECKER, PLS

SITE ADDRESS

3908 WEST 7TH AVENUE
KENNEWICK, WA 99336

PARCEL NO.

PARCEL: 1-0389-302-0042-005

BASIS OF BEARING

NAD 1983
WASHINGTON STATE PLANE SOUTH
PROJECTION, BASED ON GPS
OBSERVATIONS USING WSRN AND GEOID
2012A. UNITS OF MEASUREMENT ARE US
SURVEY FEET.

VERTICAL DATUM

NAVD 1988 VERTICAL DATUM ON
ORTHOMETRICALLY CORRECTED GPS
OBSERVATIONS USING WSRN AND GEOID
2012A.

UTILITIES

WATER/SEWER:
CITY OF KENNEWICK
ENGINEERING DEPARTMENT: 509.585.4419

IRRIGATION:
KENNEWICK IRRIGATION DISTRICT
BEN WOODARD: 509.586.6012

POWER:
BENTON PUD
MIKE IRVING: 509.582.1230

COMMUNICATION:
CHARTER COMMUNICATIONS
ROBERT EARLY: 509.727.3798

FRONTIER
GREG GOODWIN: 509.736.3720

GAS:
CASCADE NATURAL GAS CORPORATION
CASEY ROBERTS: 509.820.8235



5804 Road 90, Suite H Pasco, WA 99301
509.380.5883 TEL. 253.383.2572 FAX www.ahbl.com WEB

Project Title:
**MIDTOWN VILLAGE
PRELIMINARY PLAT**

CITY OF KENNEWICK PP 18-04/PLN-2018-02625
Client:
AR HOLDINGS LLC.

1364 KENSINGTON WAY
RICHLAND, WA 99352-7871

Job No.
2180229.10

Issue Set & Date:
PRELIMINARY PLAT

11/30/2018



NOTICE
ALTERATION OF THIS DOCUMENT SHALL INVALIDATE THE
PROFESSIONAL SEAL AND SIGNATURE. PUBLICATION OF
THIS DOCUMENT DOES NOT DELEGATE FROM RESERVED
OWNERSHIP RIGHTS IN IT. THIS DOCUMENT IS FOR USE
ONLY FOR THE PROJECT ENTITLED IN THE TITLE BLOCK
AND IS NOT TO BE USED FOR OTHER PURPOSES, OR
ADDITION TO THAT PROJECT OR FOR ANY OTHER PROJECT.

Revisions:
9/24/18 - CITY COMMENTS

Sheet Title:
**PRELIMINARY
PLAT**

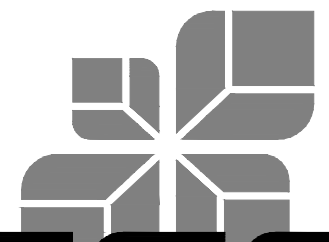
Designed by: CTS Drawn by: KDM Checked by: EMF

Sheet No.
C001
1 of 1 Sheets



MIDTOWN VILLAGE PLAT

A PORTION OF THE NE 1/4 OF THE SW 1/4 OF SEC. 03, TWN. 08 N., RGE. 29 E. W.M.
CITY OF KENNEWICK, BENTON COUNTY, WASHINGTON.



TACOMA • SEATTLE • SPOKANE • TRI-CITIES

5804 Road 90, Suite H Pasco, WA 99301
509.380.5883 TEL. 253.383.2572 FAX www.ahbl.com WEB

Project Title: MIDTOWN VILLAGE PRELIMINARY PLAT

CITY OF KENNEWICK PP 18-04/PLN-2018-02625

Client:
AR HOLDINGS LLC.

1364 KENSINGTON WAY
RICHLAND, WA 99352-7871

Job No.

2180229.10

Issue Set & Date:

PRELIMINARY PLAT

11/30/2018



12/05/2018

NOTICE
ALTERATION OF THIS DOCUMENT SHALL INVALIDATE THE
PROFESSIONAL SEAL AND SIGNATURE. PUBLICATION OF
THIS DOCUMENT DOES NOT DELEGATE FROM RESERVED
OWNERSHIP RIGHTS IN IT. THIS DOCUMENT IS FOR USE
ONLY FOR THE PROJECT ENTITLED IN THE TITLE BLOCK
AND IS NOT TO BE USED FOR OTHER PURPOSES, OR
ADDITION TO THAT PROJECT OR FOR ANY OTHER PROJECT.

A

A

A

9/24/18 - CITY COMMENTS

Revisions:

Sheet Title:

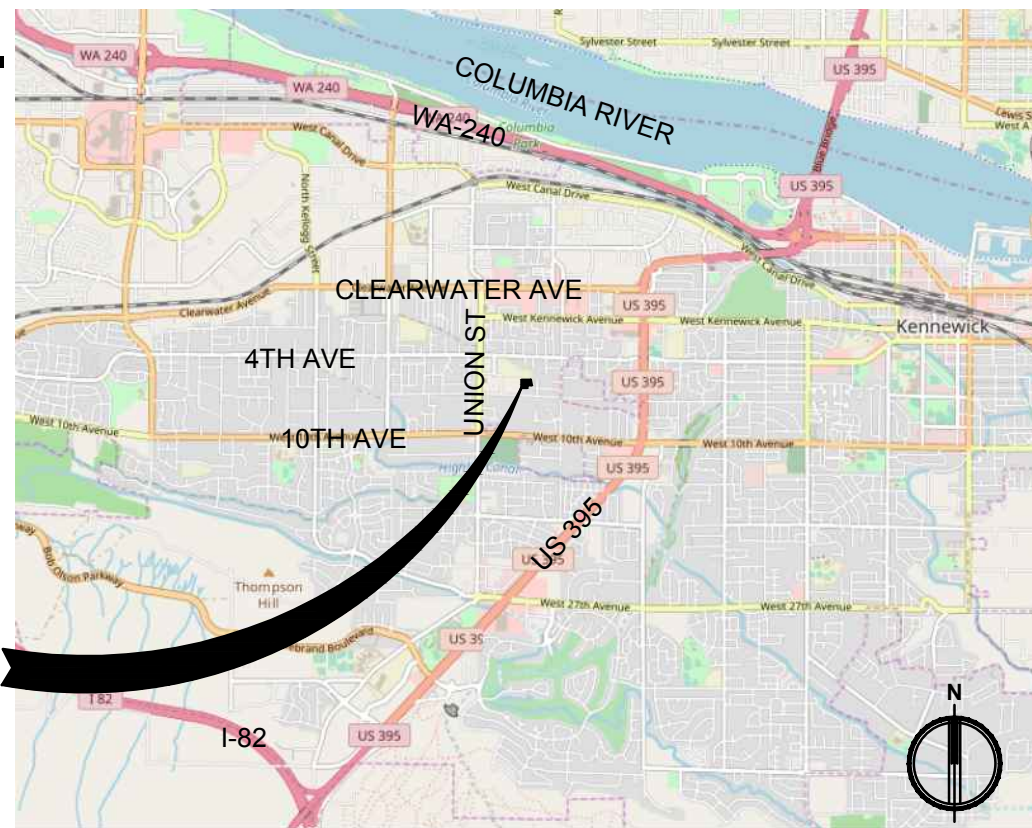
PRELIMINARY PLAT

Designed by: CTS Drawn by: KDM Checked by: EMF

Sheet No.

C001

1 of 1 Sheets



VICINITY MAP
NOT TO SCALE

PROJECT
SITE

USE

RESIDENTIAL MEDIUM (RM6)

DEVELOPMENT TABLE

TOTAL AREA:	2.47 AC
TOTAL NUMBER OF LOTS:	30 (32 UNITS)
MINIMUM LOT SIZE:	1,884 SF (LOT 24)
MAXIMUM LOT SIZE:	7,887 SF (LOT 17)
AVERAGE LOT SIZE:	2,806 SF
TOTAL RIGHT-OF-WAY:	23,781 SF

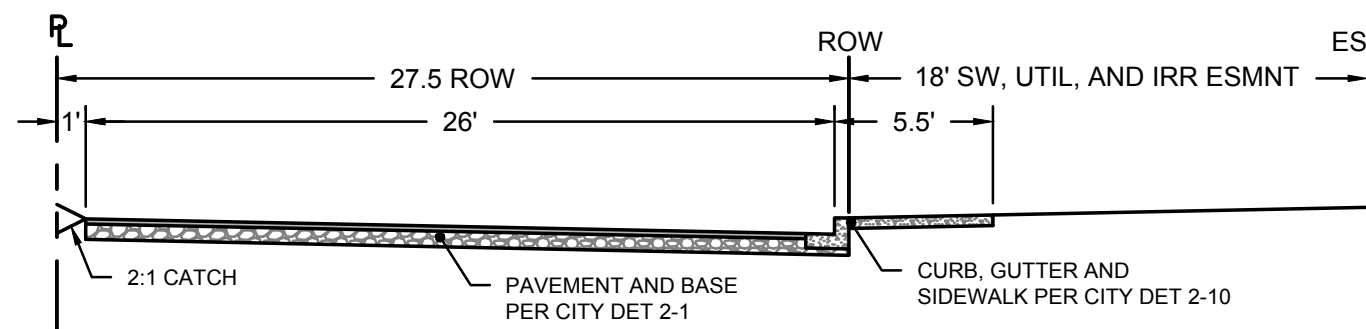
FIRE SPRINKLER NOTE

UNLESS AN APPROVED SECONDARY EMERGENCY VEHICLE ACCESS IS PROVIDED, ALL PROPOSED DWELLING UNITS SHALL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED IN COMPLIANCE WITH NFPA 13D.

LEGEND

EXISTING	
SET NAIL AND WASHER	△
SET REBAR AND CAP	●
FOUND PROPERTY CORNER	○
MAIL BOX	□
SIGN AS NOTED	□
STORM MANHOLE	○
SANITARY SEWER MANHOLE	○
GAS METER	○
GAS VALVE	○
UTILITY POWER POLE	○
JUNCTION BOX	○
FIRE HYDRANT	○
HOSE BIB	○
IRRIGATION CONTROL VALVE	○
WATER METER	○
WATER VALVE	○
DECIDUOUS TREE	○
STORM LINE	---
SEWER LINE	---
WATER LINE	---
GAS LINE	---
ELECTRICAL LINE	---
COMMUNICATION LINE	---
OVERHEAD UTILITIES	---
FENCE	x-x-x-x-x

S PERRY CT



RD A 3/4 SECTION
NTS

KEY NOTES

- PROPOSED GRAVITY SEWER AND WATER CONNECTION
- ENCROACHING FENCE TO BE RELOCATED DURING CONSTRUCTION
- UNOBSTRUCTED EMERGENCY ACCESS ROUTE TO BE PROVIDED
- CONNECTING RD A AND RD C. "EMERGENCY ACCESS/NO PARKING" SIGNS TO BE INSTALLED.

LEGAL DESCRIPTION

PER CASCADE TITLE COMPANY OF BENTON-FRANKLIN COUNTY
ORDER NO. CBF6594 MARCH 28, 2018

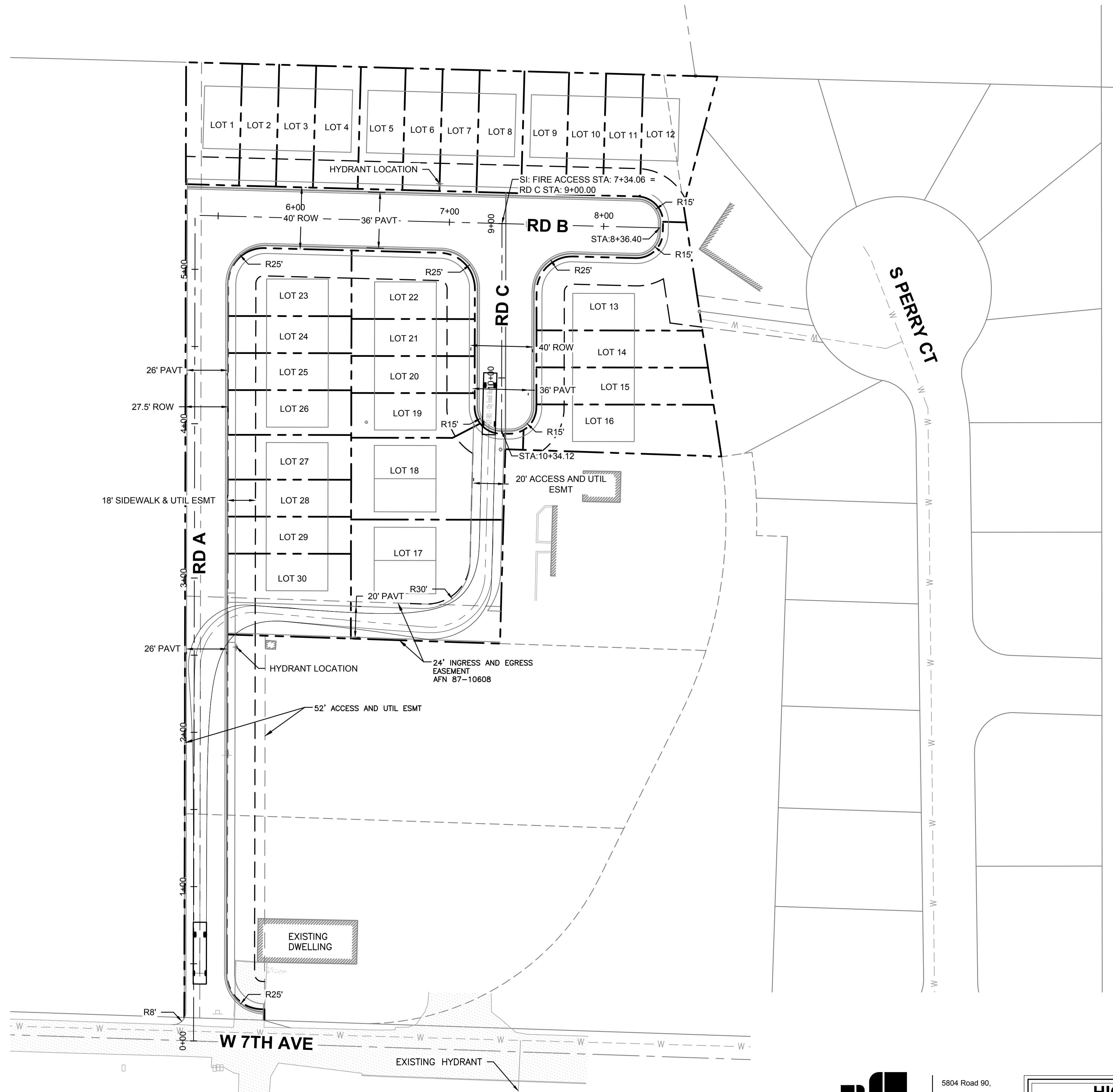
THAT PORTION OF LOT 42, THE HIGHLANDS PLAT B, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 3, RECORDS OF BENTON COUNTY, WASHINGTON, LYING WESTERLY OF THE KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY, EXCEPT THE WEST 80 FEET THEREOF, AND EXCEPT THE SOUTH 249 FEET THEREOF, AND EXCEPT THE EAST 140 OF THE NORTH 126 FEET OF THE SOUTH 375 FEET AS MEASURED ALONG THE WEST LINE THEREOF, ALSO THAT PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL: ALL OF LOTS 2, 3 AND 4 OF SHORT PLAT #1-846, AS RECORDED IN VOLUME 1 OF SHORT PLATS AT PAGE 846, RECORDS OF BENTON COUNTY AUDITOR, AND A PORTION OF THE VACATED KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY, LOCATED IN SECTION 3, TOWNSHIP 8 NORTH, RANGE 29 EAST W.M., CITY OF KENNEWICK, BENTON COUNTY WASHINGTON DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 1 OF SAID SHORT PLAT #1-846, RECORDS OF BENTON COUNTY AUDITOR; THENCE NORTH 03°02'48" EAST ALONG THE EAST LINE OF SAID LOT 1 A DISTANCE OF 324.57 FEET TO A POINT ON THE EASTERLY LINE OF SAID VACATED KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY; THENCE NORTH 86°57'12" WEST 20.00 FEET TO THE CENTERLINE OF SAID CANAL RIGHT OF WAY AND A POINT ON A CURVE TO THE LEFT, THE RADIUS POINT OF WHICH BEARS NORTH 86°57'12" WEST A DISTANCE OF 305.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE 54.06 FEET; THENCE SOUTH 82°53'31" WEST 20.00 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAID CANAL RIGHT OF WAY AND A POINT ON A CURVE TO THE LEFT, THE RADIUS POINT OF WHICH BEARS SOUTH 82°53'31" WEST 285.00 FEET; THENCE NORTHERLY ALONG SAID CURVE AND SAID WEST RIGHT OF WAY LINE 1.68 FEET; THENCE NORTH 07°26'46" WEST ALONG SAID WEST CANAL RIGHT OF WAY 162.51 FEET; THENCE NORTH 15°46'43" EAST 86.64 FEET TO A POINT ON THE WESTERLY EXTENSION OF THE NORTH LOT LINE OF SAID LOT 4; THENCE SOUTH 87°19'32" EAST ALONG THE NORTH LINE OF SAID LOTS 3 AND 4 A DISTANCE OF 248.91 FEET TO THE NORTHEAST CORNER OF SAID LOT 3; THENCE SOUTH 01°03'54" WEST ALONG THE EAST LINES OF SAID LOTS 2 AND 3 A DISTANCE OF 622.76 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF CITY STREET KNOWN AS WEST 7TH AVENUE; THENCE NORTH 86°57'12" WEST ALONG SAID NORTHERLY RIGHT OF WAY 215.17 FEET TO THE SAID POINT OF BEGINNING.

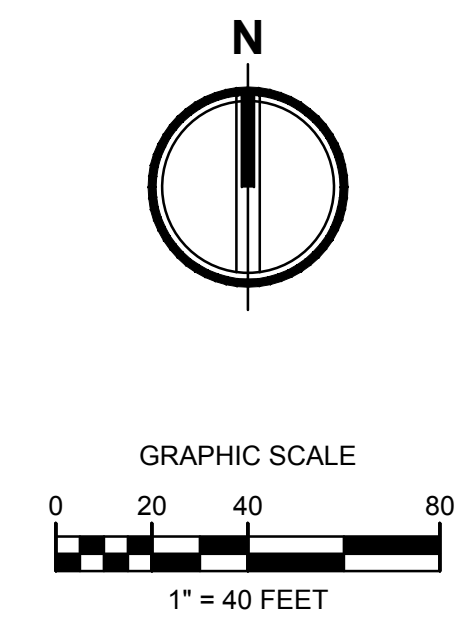
Exhibit 4



Know what's below.
Call before you dig.



FIRE SPRINKLER NOTE
UNLESS AN APPROVED SECONDARY EMERGENCY VEHICLE ACCESS IS PROVIDED, ALL PROPOSED DWELLING UNITS SHALL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED IN COMPLIANCE WITH NFPA 13D.





5804 Road 90,
Suite H,
Pasco, WA 99301
509.380.5883 TEL
509.380.5885 FAX

HIGHLANDS PRELIMINARY PLAT	JOB NO: 2180229.10
HYDRANT LOCATION & FIRE ACCESS	DATE: 11/30/2018
	EX-2

**A PORTION OF THE NE 1/4 OF THE SW 1/4 OF SEC. 03, TWN. 08 N., RGE. 29 E. W.M.
CITY OF KENNEWICK, BENTON COUNTY, WASHINGTON.**

PROJECT SITE

JAYA HOLDINGS, LLC.
1364 KENSINGTON WAY
RICHLAND, WA 99352-7871
PH: 619.400.7845
CONTACT: MALLIKARJUNA R. VALLEM, PhD

AR HOLDINGS, LLC.
1364 KENSINGTON WAY
RICHLAND, WA 99352-7871

AHBL INC.
5804 ROAD 90, SUITE H
PASCO, WA 99301
PH: 509.380.5883
CONTACT: CALEB STROMSTAD, PE

AHBL INC.
5804 ROAD 90, SUITE H
PASCO, WA 99301
PH: 509.380.5883
CONTACT: JOHN BECKER, PLS

3908 WEST 7TH AVENUE
KENNEWICK, WA 99336

PARCEL: 1-0389-302-0042-005

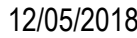
Project Title:
**MIDTOWN VILLAGE
PRELIMINARY PLAT**

Client:
AR HOLDINGS LLC.

2180229.10

CONCEPTUAL GRADING PLAN

12/01/2018



NOTICE
ALTERATION OF THIS DOCUMENT SHALL INVALIDATE THE PROFESSIONAL SEAL AND SIGNATURE. PUBLICATION OF THIS DOCUMENT DOES NOT DEROGATE FROM RESERVED OWNERSHIP RIGHTS IN IT. THIS DOCUMENT IS FOR USE ONLY FOR THE PROJECT IDENTIFIED IN THE TITLE BLOCK AND IS NOT TO BE USED FOR REPAIR, REMODEL OR ADDITION TO THAT PROJECT OR FOR ANY OTHER PROJECT.

9/24/18 - CITY COMMENTS

Revisions:

Sheet Title:

CONCEPTUAL GRADING PLAN

Designed by: CTS Drawn by: KDM Checked by: EMF

Sheet No.

C001

1 of 1 Sheets

Know what's below.
Call before you dig



**CITY OF KENNEWICK
DETERMINATION OF NON-SIGNIFICANCE**

FILE/PROJECT NUMBER: PP 18-04/PLN-2018-02625 AND ED 18-32

DESCRIPTION OF PROPOSAL: A 30 lot Preliminary Plat of 2.47 acres. The property has a land use designation of Medium Density Residential and is zoned Residential, Medium Density.

PROPONENT: Jaya Holdings, LLC, c/o Mallikarjuna R. Vallem, PhD., 1364 Kensington Way, Richland, WA 99352

LOCATION OF PROPOSAL, INCLUDING STREET ADDRESS, IF ANY: 3908 W 7TH Avenue

LEAD AGENCY: City of Kennewick

DETERMINATION: The City of Kennewick has determined that this proposal does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) will not be required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the City. This information is available to the public on request. Application for other required permits may require further review under SEPA procedures.

☒ There is no comment period for this DNS.

☐ This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS.

☐ This DNS is issued under 197-11-340(2); the City will not act on this proposal for fifteen days from the date below. Comments must be submitted by _____. After the review period has elapsed, all comments received will be evaluated and the DNS will be retained, modified, or withdrawn as required by SEPA regulations.

RESPONSIBLE OFFICIAL: Gregory McCormick, AICP

POSITION/TITLE: Community Planning Director

ADDRESS: 210 W 6th Ave., P.O. Box 6108, Kennewick, WA 99336

PHONE: (509) 585-4463

☐ Changes, modifications and/or additions to the checklist have been made on the attached Environmental Checklist Review.

This DNS is subject to the attached conditions:

☒ No conditions.

☐ See attached condition(s).

Date: December 20, 2018 Signature: _____

Appeal: An appeal of this determination must be submitted to the Community Planning Department within fourteen (14) calendar days after the date issued. This appeal must be written and make specific factual objections to the City's threshold determination. Appeals shall be conducted in conformance with Section 4.12.090(9) of the Kennewick Municipal Code and the required fees pursuant to the City's adopted Fee Schedule shall be paid at time of appeal submittal.

Copies of this DNS were mailed to:

- Dept. of Ecology
- WA Dept. of Fish & Wildlife
- WSDOT
- Yakama Nation
- CTUIR
- PP 18-04/PLN-2018-02625 File

From: Greg Duffy
Sent: 6 Sep 2018 08:51:22 -0700
To: Steve Donovan
Subject: RE: Permit PLN-2018-02625 approval routing

PIF - Zone 1

Thanks.

-----Original Message-----

From: Steve Donovan
Sent: Thursday, September 06, 2018 7:54 AM
To: Greg Duffy
Subject: Permit PLN-2018-02625 approval routing

Permit number PLN-2018-02625 has been routed from Planner/Planning Tech and is ready for your review with the following comments:

Project description:

A Preliminary Plat Application has been submitted for property located at 3908 W 7th Avenue. The request is to create 30 lots on 2.47 acres, with an average lot size of 2,806 sq. ft. The Comprehensive Plan designation for the site is Medium Density Residential and is zoned Residential, Medium Density (RM).

Please review and submit your comments to the Community Planning Department, at the email listed above, on or before September 21, 2018.

From: Chad Brooks
Sent: 7 Sep 2018 20:48:56 +0000
To: Steve Donovan
Subject: RE: [E] PP 18-04?PLN-2018-02625

Please have contractor coordinate with Benton PUD for power needs.

Thank you

Chad Brooks
Distribution Design Tech I
Benton PUD
Email: brooksc@bentonpud.org
Main # (509)582-2175
Direct # (509)582-1233



From: Steve Donovan [mailto:Steve.Donovan@ci.kennewick.wa.us]
Sent: Thursday, September 06, 2018 7:57 AM
To: BC Planning Department; BC Planning Department Clark Posey; Ben Franklin Transit - Bill Barlow; Ben Franklin Transit - Kevin Sliger; Benton Clean Air Authority - Rob Rodger; Benton Clean Air Authority - Tyler Thompson; Benton Clean Air John Lyle; Benton Franklin Health Dept - Rick Dawson; EngService; Jeff Vosahlo; Chad Brooks; Mike Irving; Shanna Everson; Tina Archey; BPA - Deborah Rodgers; BPA - Joe Cottrell; BPA - Mike Deklyen; Cascade Gas James Thomas; Charter Communication - Dean Kelley; Charter Communications - Robert Early; Columbia Irrigation District; Consolidated Tribes of Umatilla Indian Reservation - Carey L. Miller; CTUIR - Teara Farrow Ferman; Department of Ecology SEPA UNIT; Dept of Fish & Wildlife; Dept of Fish & Wildlife - Michael Ritter; Dept of Natural Resources SEPA Center; Dustin Fisk - Kennewick School District (dustin.fisk@ksd.org); Frontier - Gregory Goodwin; Kenewick Irrigation District - Jason McShane; Kennewick Irrigation District - Ben Woodard; Kennewick School District - Doug Carl; Mike Blatman; Shane O'Neill; US Army Corps of Engineers; Williams Pipeline - Audie Neuson; WSDOT; Yakama Nation - Thalia Sachtleban
Subject: [E] PP 18-04?PLN-2018-02625

Attached is a proposed Preliminary Plat.

Let me know if you have any questions.

Steve



Steve Donovan
City of Kennewick
Community Planning/Planner
O: 509.585.4361



Memorandum Public Works

Leading the Way

To: Steve Donovan, Planner

From: Fernando Garcia, Development Services Supervisor

Date: September 11, 2018

Re: Public Works Consolidated Comments

Project: PP No.18-04 / PLN-2018-02625

1. There is an existing 8-inch waterline stubbed to the property in an easement located at 518 S Perry Ct, installed by City of Kennewick (COK) Record Drawing number D-2229_01.
2. Provide water lines as required by Fire Department to meet fire protection. The developer will need to provide a looped water system through the parcel per KMC 14.10.010.
3. The Developer shall provide and install 1-inch water services for each lot at his or her expense per City of Kennewick Standard Specification Section 4-3.01. The meter shall be placed as close to the main line as possible (not in a drive way or parking area) per KMC 14.12.080.
4. Fire Line connections shall be designed per COK Standard Drawing 4-25.
5. Hydraulic modeling may be required based on fire flow requirements.
6. A hydraulic analysis is required for the system meeting Water Comprehensive Plan.
7. Provide a "fire flow requirement" signature block to the master utility sheet (or other sheet where water related infrastructure is shown). The signature block will call out the type of construction, have a fire sprinkler indication, show any reduction in fire flow as allowed by the UFC, and the net required fire flow remaining.
8. Potable water is not available for irrigation purposes. Contact Columbia Irrigation District for irrigation services.
9. Waterlines outside the right of way will require a 15-foot waterline easement centered over the new water main and five feet beyond fire hydrant runs. The document must be recorded with the Benton County Auditor, and include the property owner(s) signature. Dedication of the easement will be required prior to acceptance of the utility permit.
10. As part of all residential development construction (civil) plans, there shall be a separate schematic drawing which, at a minimum, shows the power source(s), wiring diagram, street light pole spacing, and street permanent signing per COK Standard Specifications 7-10. Combine signing, striping, and illumination plans on the same drawing with other elements left off.

PUBLIC WORKS

11. Sidewalks shall be widened an additional 18-inches when adjoining a wall, or fence, per COK detail 2-10, sheet 1 of 8, note 4.
12. There is an existing 8-inch sewer service stubbed to the site from S Perry Ct in an easement located on the south side of 512 S Perry Ct. installed by COK Record Drawing number D-2229_1.
13. Each dwelling unit shall be separately and independently connected to sewer main unless the connection is 6-inch or larger in diameter per KMC 14.22.030.
14. Sewer mains outside the city right of will require a 15-foot wide sanitary sewer easement centered over the sewer main lines. The document must be recorded with the Benton County Auditor Office, and include the property owner(s) signature. Dedication of the easement will be required prior to acceptance of the utility permit.
15. All plans showing existing water or sewer utilities will need to call out the plan set number that installed such utilities as part of the design. All plans need to clearly identify the size and type of water/sewer utility that is being proposed or connected to (ie "Existing 8-inch Water" or similar).
16. The City has formally adopted the Storm Management Manual of Eastern Washington. All design, construction, and post construction management of storm drainage facilities shall be in accordance with the Storm Management Manual of Eastern Washington and City Standards.
17. Design must include erosion control and conveyance of the upstream flow through the project considering as well as overflows at low points and the effects on downstream capacity. We recommend starting in Section 3.1 of the SMMEW.
18. Residential sub-divisions storm drainage systems to be dedicated to the public shall be designed to retain and dispose of the calculated difference between a 25-year, 24-hour, event for the developed state and the 24-hour event for the natural pre-developed state. Detention ponds (control outlet) may be used only where it can be clearly demonstrated that infiltration, or retention, are not feasible per City of Kennewick Standard Specifications section 5-9.02. Provide infiltration testing at the location and depth of the planned infiltration structures as well as a soils log 5 feet below that point.
19. All injection control wells (infiltration structures) must be installed and registered per the Washington State Underground Injection Control (UIC) rule prior to construction. Provide UIC registration numbers for all drywells or other infiltration structures on the Record Drawings and before Public Works construction permit is accepted. See UIC Registration link; <http://www.ecy.wa.gov/PROgrams/wq/grndwtr/uic/index.html>
20. This site requires a separate DPW Permit for civil plan reviews with the following:
 - a. PDF copy of Application for Civil Review and PDF Copy of Storm Report.
 - b. One full size PDF copy of each shall be submitted to the Public Works Department for review.
21. Plan review and utility fees will be quoted from the construction cost from the Contractor selected by the Developer to construct the project. Cost shall be paid in the amount of five percent (5%), and the construction cost shall be determined by the actual bid document reviewed, and approved, by the City Engineer.
22. Kennewick Survey Data requirements:

PUBLIC WORKS

- a. All projects will be built with current City Survey Data.
- b. For detailed information on Kennewick Survey Data and Record Drawings & Easements go to COK website @ <https://www.go2kennewick.com/314/Civil-Plan-Review>
- c. Questions contact Matt Garrity at matthew.garrity@ci.kennewick.wa.us 509-585-4531

PUBLIC WORKS

1010 E. Chemical Drive • PO Box 6108 • Kennewick, WA 99336-0108
(509) 585-4289 • Fax (509) 585-4511 • Bruce.Beauchene@ci.kennewick.wa.us



MEMORANDUM

Traffic Engineering Division

To: Steve Donovan, Planner
From: Joe Seet, Assistant Traffic Engineer
Date: September 17, 2018
Re: Traffic Engineering Comments for 3908 W 7th Ave., 30 lots on 2.47 acres
Project: PP 18-04/PLN-2018-02625

KMC 13.16 Transportation Impact Fees

1. The proposed development is in District 3. The Traffic Impact Fee is \$982/dwelling unit for single family residential and \$556/dwelling unit for multi-family. No specific counts for single family and duplex units were provided. No Traffic Impact Fee was estimated.

Traffic Operations

1. Provide sightline setback triangles per KMC 13.12.020 for proposed intersection.
2. Provide an intersection trip analysis trip and note any widening required or right-of-way for future widening for right or left-turn lanes.

Proposed Driveway(s)

1. Recommend using rolled curb sections with no driveway cuts for the townhouses. This will eliminate the need for transition slopes and landing pads.

Right of Way and Easement

1. W 7th Ave is functionally classified as Collector. Street frontage improvements are required, which may include pavement widening, curb, gutter, sidewalk and street lighting, per City of Kennewick Standard Drawing 2-2.
2. Approximately 7' along the proposed development's frontage on W 7th Ave is to be dedicated to the City to increase the public right of way to 22' per the street's functional classification.
3. 18' public utility easement along the proposed development's frontage on W 7th Ave is required to be recorded.

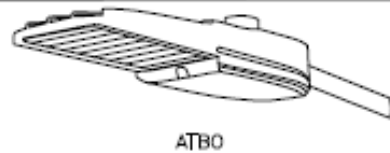
4. The proposed 20' pavement section of Road A is not acceptable. In coordination with KFD, the minimum allowable roadway width is 26' with restricted parking on one-side of Road A. Roads B and C will also be restricted to parking only on one-side of roadway because of the proposed hammerhead and lack of available offsite parking.
5. The density of the development coupled with a lack of available parking space, raises concerns regarding accessibility for emergency and maintenance vehicle. Suggest putting in place a CC&R condition to restrict parking and the ability for the HOA/POA to remove the obstructing vehicle.

American Disability Act (ADA) Compliance

1. All proposed pedestrian facilities within the public right of way and easement, including but not limited to driveways, sidewalks, curb ramps, etc., shall be ADA compliant while maintaining Pedestrian Accessibility Route (PAR) accessibility, continuity and connectivity.
2. At all proposed sidewalk termini, provide asphalt transition ramps or match into existing sidewalks for ADA compliance.

Street Lights

1. Per KMC 5.53, Public Works Construction Standard Chapter 6 requires the design and installation of roadway lighting per City of Kennewick Standard Drawings 6-1 and 6-2 along the internal roads and at the intersection of Rd A and W 7th Ave.
2. Provide a roadway lighting plan sheet– Per CoK Standard Specifications 6-1.02, the plan needs to include call-outs for the power source, meter locations, junction boxes, conduits and conduits.
3. A new power source is needed for the new roadway lighting.



ATB0

LUMINAIRE REQUIREMENTS:



ATB2

STREET WIDTH*	STREET LIGHT STANDARD	GENERAL STREET CLASSIFICATION	LAMP WATTAGE (NOT TO EXCEED)	LIGHT DISTRIBUTION	CONTROLS (SEE NOTE 2)	DELIVERED LUMENS (MINIMUM)	MAXIMUM POLE SPACING
60'	TYPE I 35.0'	PRINCIPAL ARTERIAL, 5-LANE, HIGH DENSITY COMMERCIAL	220	TYPE III	VE ²	18,600	125'
60'	TYPE I 35.0'	PRINCIPAL ARTERIAL 5-LANE	110 220 (XING)	TYPE III	VE ²	9300 18,600	150'
40'-48'	TYPE I 35.0'	MINOR ARTERIAL 4-LANE	110 220 (XING)	TYPE III	VE ²	9300 18,600	150'
40'-48'	TYPE I 35.0'	MINOR ARTERIAL/COLLECTOR 3-LANE	110	TYPE II	VE ²	9300	150'
34'-36'	TYPE II 30.5'	LOCAL RESIDENTIAL/NEIGHBORHOOD	50 110 (XING)	TYPE II	VE ²	4200 9300	300'

* MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT.

NOTES:

1. LUMINAIRES SHALL BE LED (LIGHT-EMITTING-DIODE) AND MANUFACTURED BY AEL (AMERICAN ELECTRIC LIGHTING).

WATTS (NTE)	MANUFACTURE	MODEL/SERIES	PERFORMANCE PACKAGE
50 W	AEL	ATB0	20BLEDE70, 20B CHIPS, 700 mA DRIVER
110 W	AEL	ATB0	30BLEDE10, 30B CHIPS, 1000 mA DRIVER
220 W	AEL	ATB2	60BLEDE10, 60B CHIPS, 1000 mA DRIVER

2. LUMINAIRES SHALL HAVE THE FOLLOWING CHARACTERISTICS:
- CAPABLE OF USING MULTI-VOLT 120-277V, 60 Hz POWER SOURCE
 - ROADWAY DISTRIBUTION AS STATED ABOVE, IP66 RATED LIGHT ENGINES WITH 0% UPLIGHTING.
 - PROVIDE CORRELATED COLOR TEMPERATURE (CCT) OF 5000K, 70 CRI MINIMUM.
 - EXPECTED LIFE: LED LIGHT ENGINE RATED > 100,000 HOURS AT 25°C, L70
 - EXPECTED LIFE (DRIVER): 100,000 HOURS AT 25° AMBIENT
 - HOUSING SHALL BE DIE CAST ALUMINUM, POLYESTER POWDER COATED, AND GRAY IN COLOR.
 - NEMA 3 PIN PHOTOCONTROL RECEPTACLE
 - NEMA LABEL PER ANSI C136.15-2011
 - SHALL HAVE TOOL-LESS ENTRY, TOOL-LESS NEMA PHOTOCONTROL RECEPTACLE, TERMINAL BLOCK, QUICK DISCONNECTS, AND BUBBLE LEVEL INSIDE ELECTRICAL COMPARTMENT FOR EASY LEVELING AT INSTALLATION.
3. PHOTO ELECTRIC CONTROL PER EACH LUMINAIRES SHALL BE NEMA 3 PIN.
4. LUMINAIRES SHALL BE PACKAGED IN CONTAINERS WHICH WILL PREVENT SHIPPING AND HANDLING DAMAGE. EACH CONTAINER SHALL BE MARKED WITH THE MANUFACTURE'S NAME, NAME OF ITEM, WATTAGE AND CATALOG NUMBER
5. LUMINAIRES SHALL HAVE A MINIMUM OF A 10 YEAR WARRANTY. LUMINAIRES IN SERVICE FOR LESS THAN ONE YEAR ARE UNDER THE WARRANTY OF THE CONTRACTOR AND SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
6. SEE CITY OF KENNEWICK STANDARD DETAIL 6-1 FOR POLE AND MAST ARM REQUIREMENTS.
7. SPACING TO BE STAGGERED OPPOSITE SIDES OF THE STREETS, EXCEPT ON CURVES WHERE SPACING SHALL BE DETERMINED BY THE PUBLIC WORKS DIRECTOR OR DESIGNEE. ALL INTERSECTIONS SHALL HAVE MINIMUM (1) LIGHT. ADDITIONAL LIGHTING MAY BE REQUIRED BY THE PUBLIC WORKS DIRECTOR OR DESIGNEE AT INTERSECTIONS AS WELL OTHER LOCATIONS ALONG ANY GIVEN ROADWAY.
8. WIDER STREETS, NON-STANDARD STREETS AND STREETS WITH MEDIANS REQUIRE AN ENGINEERED DESIGN.

TYPICAL LIGHT EMITTING DIODE (LED) LUMINAIRE

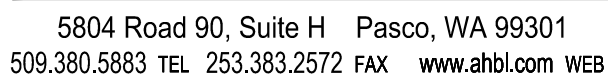
CITY OF KENNEWICK
ENGINEERING DEPARTMENT

DATE 7/13
DWN KDS
REV 4/18
CHK BWB
SCALE NTS

DWG. NO.

6-2

**A PORTION OF THE NE 1/4 OF THE SW 1/4 OF SEC. 03, TWN. 08 N., RGE. 29 E. W.M.
CITY OF KENNEWICK, BENTON COUNTY, WASHINGTON.**



Project Title:
**MIDTOWN VILLAGE
PRELIMINARY PLAT**

Client: **AR HOLDINGS LLC.**

1364 KENSINGTON WAY
RICHLAND, WA 99352-7871

2180229.10

PRELIMINARY PLAT

11/30/2018



12/05/2018

NOTICE
ALTERATION OF THIS DOCUMENT SHALL INVALIDATE THE PROFESSIONAL SEAL AND SIGNATURE. PUBLICATION OF THIS DOCUMENT DOES NOT DEROGATE FROM RESERVED OWNERSHIP RIGHTS IN IT. THIS DOCUMENT IS FOR USE ONLY FOR THE PROJECT IDENTIFIED IN THE TITLE BLOCK AND IS NOT TO BE USED FOR REPAIR, REMODEL OR ADDITION TO THAT PROJECT OR FOR ANY OTHER PROJECT.

JAYA HOLDINGS, LLC.
1364 KENSINGTON WAY
RICHLAND, WA 99352-7871
PH: 619.400.7845
CONTACT: MALLIKARJUNA R. VALLEM, PhD

AR HOLDINGS, LLC.
1364 KENSINGTON WAY
RICHLAND, WA 99352-7871

AHBL INC.
5804 ROAD 90, SUITE H
PASCO, WA 99301
PH: 509.380.5883
CONTACT: CALEB STROMSTAD, PE

AHBL INC.
5804 ROAD 90, SUITE H
PASCO, WA 99301
PH: 509.380.5883
CONTACT: JOHN BECKER, PLS

3908 WEST 7TH AVENUE
KENNEWICK, WA 99336

PARCEL: 1-0389-302-0042-005

NAD 1983
WASHINGTON STATE PLANE SOUTH
PROJECTION, BASED ON GPS
OBSERVATIONS USING WSRN AND GEOID
2012A. UNITS OF MEASUREMENT ARE US
SURVEY FEET.

NAVD 1988 VERTICAL DATUM ON
ORTHOMETRICALLY CORRECTED GPS
OBSERVATIONS USING WSRN AND GEOID
2012A.

WATER/SEWER:
CITY OF KENNEWICK
ENGINEERING DEPARTMENT: 509.585.4419

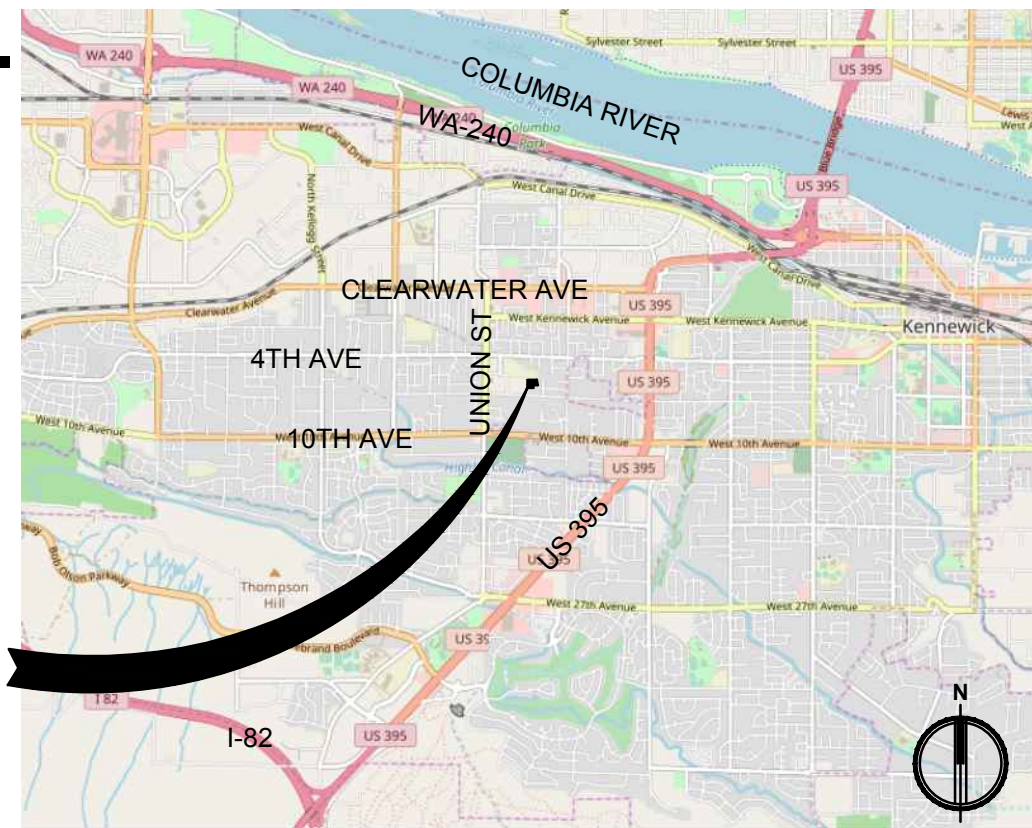
IRRIGATION:
KENNEWICK IRRIGATION DISTRICT
BEN WOODARD: 509.586.6012

POWER:
BENTON PUD
MIKE IRVING: 509.582.1230

COMMUNICATION:
CHARTER COMMUNICATIONS
ROBERT EARLY: 509.727.3798

FRONTIER
GREG GOODWIN: 509.736.3720

GAS:
CASCADE NATURAL GAS CORPORATION
CASEY ROBERTS: 509.820.8235



VICINITY MAP

PROJECT
SITE

RESIDENTIAL MEDIUM (RM6)

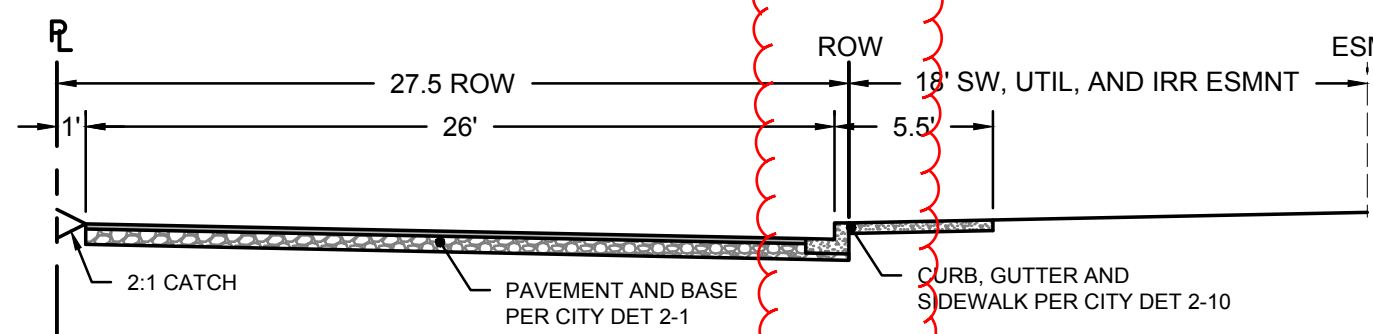
DEVELOPMENT TABLE

TOTAL AREA:	2.47 AC
TOTAL NUMBER OF LOTS:	30 (32 UNITS)
MINIMUM LOT SIZE:	1,884 SF (LOT 24)
MAXIMUM LOT SIZE:	7,887 SF (LOT 17)
AVERAGE LOT SIZE:	2,806 SF
TOTAL RIGHT-OF-WAY:	23,781 SF

UNLESS AN APPROVED SECONDARY EMERGENCY VEHICLE ACCESS IS PROVIDED, ALL PROPOSED DWELLING UNITS SHALL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED IN COMPLIANCE WITH NFPA 13D.

EXISTING	
	SET NAIL AND WASHER
	SET REBAR AND CAP
	FOUND PROPERTY CORNER
	MAIL BOX
	SIGN AS NOTED
	STORM MANHOLE
	SANITARY SEWER MANHOLE
	GAS METER
	GAS VALVE
	UTILITY POWER POLE
	JUNCTION BOX
	FIRE HYDRANT
	HOSE BIB
	IRRIGATION CONTROL VALVE
	WATER METER
	WATER VALVE
	DECIDUOUS TREE
	STORM LINE
	SEWER LINE
	WATER LINE
	GAS LINE
	ELECTRICAL LINE
	COMMUNICATION LINE
	OVERHEAD UTILITIES
	FENCE

The R/W limit is 2' behind the face of curb. Adjust location and revise the R/W width

RD A 3/4 SECTION
NTS

- 1 PROPOSED GRAVITY SEWER AND WATER CONNECTION
- 2 ENCROACHING FENCE TO BE RELOCATED DURING CONSTRUCTION
- 3 UNOBSTRUCTED EMERGENCY ACCESS ROUTE TO BE PROVIDED
CONNECTING RD A AND RD C. "EMERGENCY ACCESS/NO PARKING" SIGNS TO BE INSTALLED.

PER CASCADE TITLE COMPANY OF BENTON-FRANKLIN COUNTY
ORDER NO. CBF6594 MARCH 28, 2018

THAT PORTION OF LOT 42, THE HIGHLANDS PLAT B, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 3, RECORDS OF BENTON COUNTY, WASHINGTON, LYING WESTERLY OF THE KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY; EXCEPT THE WEST 80 FEET THEREOF; AND EXCEPT THE SOUTH 249 FEET THEREOF; AND EXCEPT THE EAST 140 OF THE NORTH 126 FEET OF THE SOUTH 375 FEET AS MEASURED ALONG THE WEST LINE THEREOF; ALSO THAT PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL: ALL OF LOTS 2, 3 AND 4 OF SHORT PLAT #1-846, AS RECORDED IN VOLUME 1 OF SHORT PLATS AT PAGE 846, RECORDS OF BENTON COUNTY AUDITOR, AND A PORTION OF THE VACATED KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY, LOCATED IN SECTION 3, TOWNSHIP 8 NORTH, RANGE 29 EAST W.M., CITY OF KENNEWICK, BENTON COUNTY WASHINGTON DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 1 OF SAID SHORT PLAT #1-846, RECORDS OF BENTON COUNTY AUDITOR; THENCE NORTH 03°02'48" EAST ALONG THE EAST LINE OF SAID LOT 1 A DISTANCE OF 324.57 FEET TO A POINT ON THE EASTERLY LINE OF SAID VACATED KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY; THENCE NORTH 86°57'12" WEST 20.00 FEET TO THE CENTERLINE OF SAID CANAL RIGHT OF WAY AND A POINT ON A CURVE TO THE LEFT, THE RADIUS POINT OF WHICH BEARS NORTH 86°57'12" WEST A DISTANCE OF 305.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE 54.06 FEET; THENCE SOUTH 82°53'31" WEST 20.00 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAID CANAL RIGHT OF WAY AND A POINT ON A CURVE TO THE LEFT, THE RADIUS POINT OF WHICH BEARS SOUTH 82°53'3" WEST 285.00 FEET; THENCE NORTHERLY ALONG SAID CURVE AND SAID WEST RIGHT OF WAY LINE 1.68 FEET; THENCE NORTH 07°26'46" WEST ALONG SAID WEST CANAL RIGHT OF WAY 162.51 FEET; THENCE NORTH 15°46'43" EAST 88.64 FEET TO A POINT ON THE WESTERLY EXTENSION OF THE NORTH LOT LINE OF SAID LOT 4; THENCE SOUTH 87°19'32" EAST ALONG THE NORTH LINE OF SAID LOTS 3 AND 4 A DISTANCE OF 248.91 FEET TO THE NORTHEAST CORNER OF SAID LOT 3; THENCE SOUTH 01°03'54" WEST ALONG THE EAST LINES OF SAID LOTS 2 AND 3 A DISTANCE OF 622.76 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF CITY STREET KNOWN AS WEST 7TH AVENUE; THENCE NORTH 86°57'12" WEST ALONG SAID NORTHERLY RIGHT OF WAY 215.17 FEET TO THE SAID POINT OF BEGINNING.

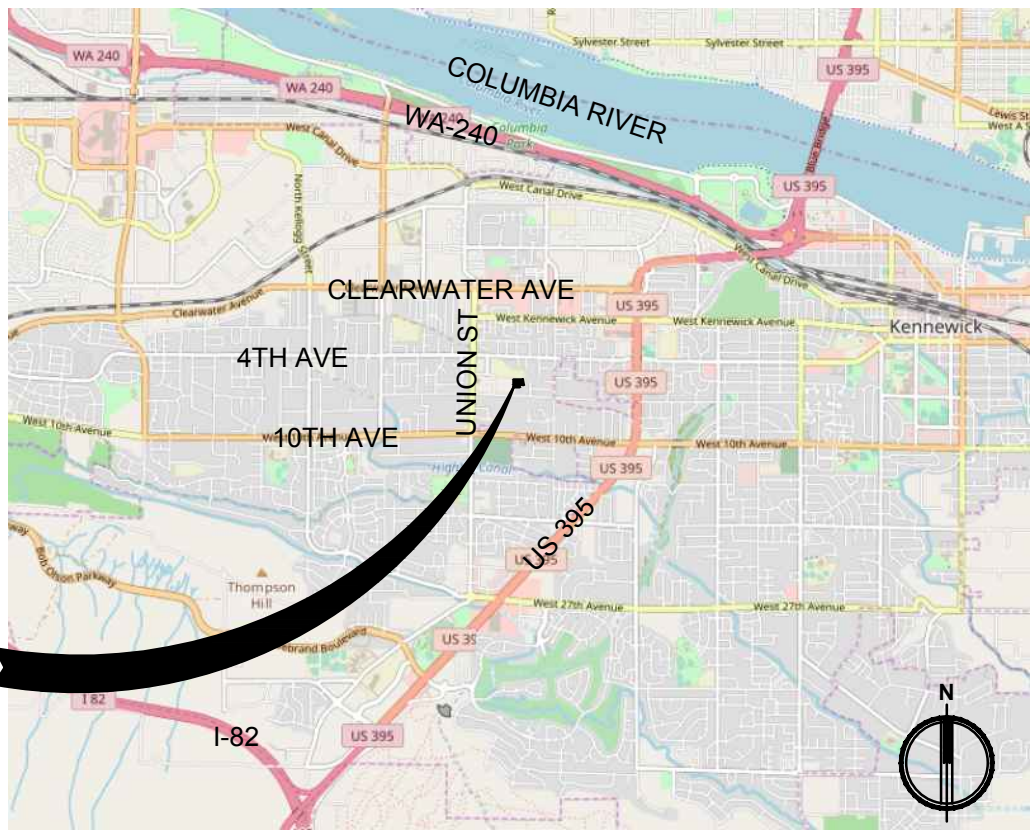
Exhibit 11



Know what's below.
Call before you dig.

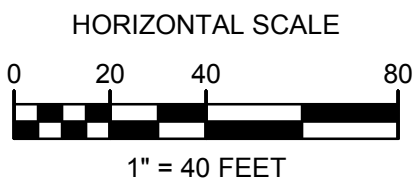
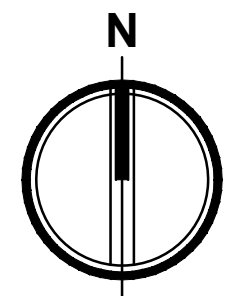
HIGHLANDS PRELIMINARY PLAT

A PORTION OF THE NE 1/4 OF THE SW 1/4 OF SEC. 03, TWN. 08 N., RGE. 29 E. W.M.
CITY OF KENNEWICK, BENTON COUNTY, WASHINGTON.



VICINITY MAP
NOT TO SCALE

PROJECT
SITE



USE

RESIDENTIAL MEDIUM (RM6)

DEVELOPMENT TABLE

TOTAL AREA:	2.47 AC
TOTAL NUMBER OF LOTS:	30 (32 UNITS)
MINIMUM LOT SIZE:	1,884 SF (LOT 24)
MAXIMUM LOT SIZE:	7,887 SF (LOT 17)
AVERAGE LOT SIZE:	2,806 SF
TOTAL RIGHT-OF-WAY:	23,781 SF

FIRE SPRINKLER NOTE

UNLESS AN APPROVED SECONDARY EMERGENCY VEHICLE ACCESS IS PROVIDED, DWELLING UNITS ON LOTS 5-16 & 19-22 SHALL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED IN COMPLIANCE WITH NFPA 13D.

LEGEND

EXISTING	SET NAIL AND WASHER
SET REBAR AND CAP	FOUND PROPERTY CORNER
MAIL BOX	SIGN AS NOTED
STORM MANHOLE	SANITARY SEWER MANHOLE
GAS METER	GAS VALVE
UTILITY POWER POLE	JUNCTION BOX
FIRE HYDRANT	HOSE BIB
IRRIGATION CONTROL VALVE	WATER METER
WATER VALVE	DECIDUOUS TREE
STORM LINE	SEWER LINE
WATER LINE	GAS LINE
ELECTRICAL LINE	COMMUNICATION LINE
OVERHEAD UTILITIES	FENCE
ASPHALT	CONCRETE

KEY NOTES

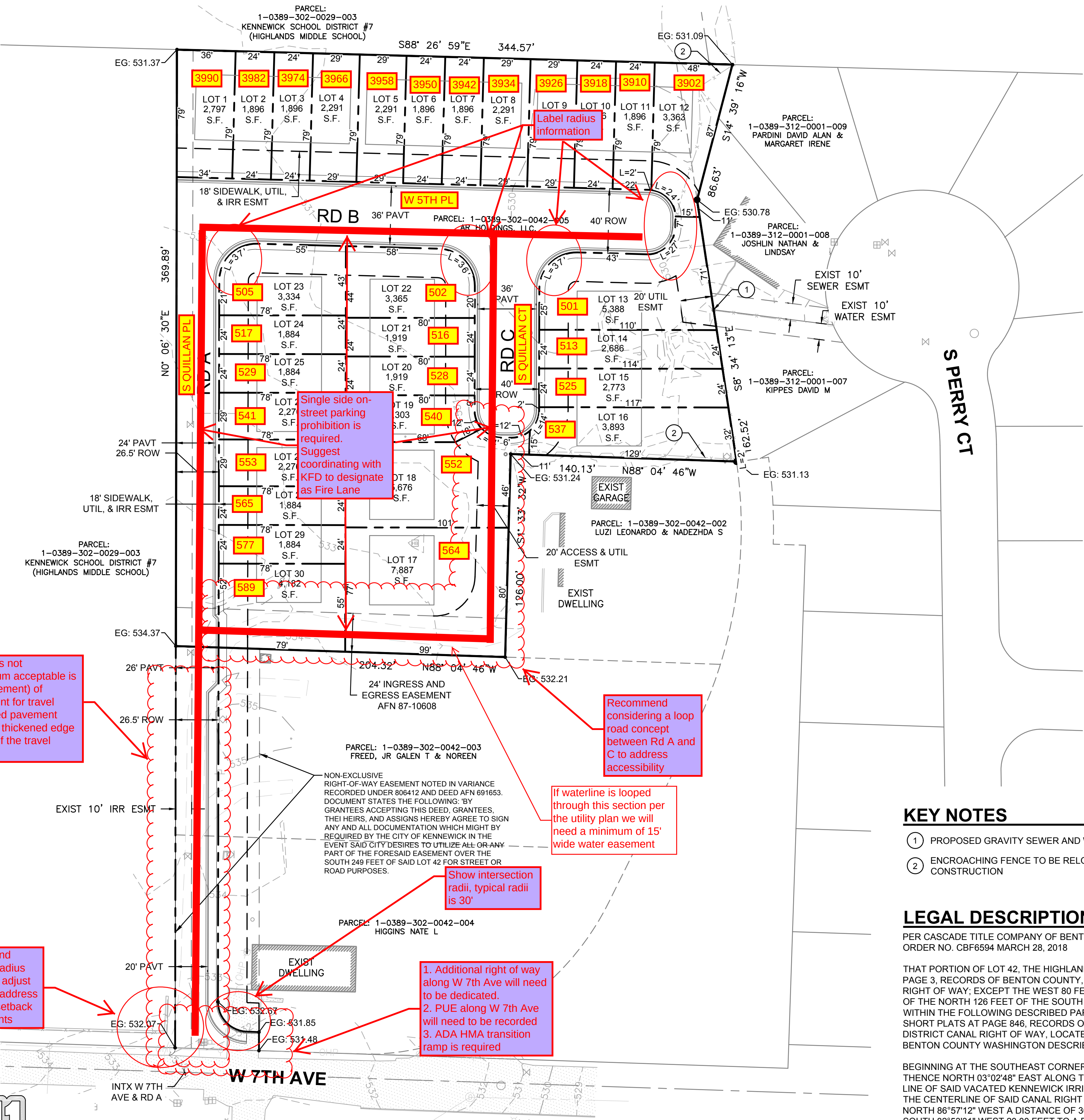
- PROPOSED GRAVITY SEWER AND WATER CONNECTION
- ENCROACHING FENCE TO BE RELOCATED DURING CONSTRUCTION

LEGAL DESCRIPTION

PER CASCADE TITLE COMPANY OF BENTON-FRANKLIN COUNTY
ORDER NO. CBF6594 MARCH 28, 2018

THAT PORTION OF LOT 42, THE HIGHLANDS PLAT B, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 3, RECORDS OF BENTON COUNTY, WASHINGTON, LYING WESTERLY OF THE KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY, EXCEPT THE WEST 80 FEET THEREOF, AND EXCEPT THE SOUTH 249 FEET THEREOF, AND EXCEPT THE EAST 140 OF THE NORTH 126 FEET OF THE SOUTH 375 FEET AS MEASURED ALONG THE WEST LINE THEREOF, ALSO THAT PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL: ALL OF LOTS 2, 3 AND 4 OF SHORT PLAT #1-846, AS RECORDED IN VOLUME 1 OF SHORT PLATS AT PAGE 846, RECORDS OF BENTON COUNTY AUDITOR, AND A PORTION OF THE VACATED KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY, LOCATED IN SECTION 3, TOWNSHIP 8 NORTH, RANGE 29 EAST W.M., CITY OF KENNEWICK, BENTON COUNTY WASHINGTON DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 1 OF SAID SHORT PLAT #1-846, RECORDS OF BENTON COUNTY AUDITOR; THENCE NORTH 03°02'48" EAST ALONG THE EAST LINE OF SAID LOT 1 A DISTANCE OF 324.57 FEET TO A POINT ON THE EASTERLY LINE OF SAID VACATED KENNEWICK IRRIGATION DISTRICT CANAL RIGHT OF WAY; THENCE NORTH 86°57'12" WEST 20.00 FEET TO THE CENTERLINE OF SAID CANAL RIGHT OF WAY AND A POINT ON A CURVE TO THE LEFT, THE RADIUS POINT OF WHICH BEARS NORTH 86°57'12" WEST A DISTANCE OF 305.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE 54.06 FEET; THENCE SOUTH 82°53'31" WEST 20.00 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAID CANAL RIGHT OF WAY AND A POINT ON A CURVE TO THE LEFT, THE RADIUS POINT OF WHICH BEARS SOUTH 82°53'31" WEST 285.00 FEET; THENCE NORTHERLY ALONG SAID CURVE AND SAID WEST RIGHT OF WAY LINE 1.68 FEET; THENCE NORTH 07°26'46" WEST ALONG SAID WEST CANAL RIGHT OF WAY 162.51 FEET; THENCE NORTH 15°46'43" EAST 86.64 FEET TO A POINT ON THE WESTERLY EXTENSION OF THE NORTH LOT LINE OF SAID LOT 4; THENCE SOUTH 87°19'32" EAST ALONG THE NORTH LINE OF SAID LOTS 3 AND 4 A DISTANCE OF 248.91 FEET TO THE NORTHEAST CORNER OF SAID LOT 3; THENCE SOUTH 01°03'54" WEST ALONG THE EAST LINES OF SAID LOTS 2 AND 3 A DISTANCE OF 622.76 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF CITY STREET KNOWN AS WEST 7TH AVENUE; THENCE NORTH 86°57'12" WEST ALONG SAID NORTHERLY RIGHT OF WAY 215.17 FEET TO THE SAID POINT OF BEGINNING.



Proposed 20' Pavt is not acceptable. Minimum acceptable is 26' (per KFD requirement) of unpaved pavement for travel lanes. Any proposed pavement edge treatment, i.e. thickened edge must be exclusive of the travel lanes.

Recommend considering a loop road concept between Rd A and C to address accessibility

If waterline is looped through this section per the utility plan we will need a minimum of 15' wide water easement

Show intersection radii, typical radii is 30'

1. Additional right of way along W 7th Ave will need to be dedicated.
2. PUE along W 7th Ave will need to be recorded
3. ADA HMA transition ramp is required

Recommend placing a radius return and adjust fencing to address sight line setback requirements



Know what's below.
Call before you dig.



TACOMA • SEATTLE • SPOKANE • TRI-CITIES

5804 Road 90, Suite H Pasco, WA 99301
509.380.5883 TEL 253.383.2572 FAX www.ahbl.com WEB

Project Title:

HIGHLANDS PRELIMINARY PLAT

CITY OF KENNEWICK PP - _ PLN-2018-02625

Client:

JAYA HOLDINGS LLC.

1364 KENSINGTON WAY
RICHLAND, WA 99352-7871

Job No.

2180229.10

Issue Set & Date:

PRELIMINARY PLAT

08/22/2018



08/23/2018

NOTICE
ALTERATION OF THIS DOCUMENT SHALL INVALIDATE THE PROFESSIONAL SEAL AND SIGNATURE. PUBLICATION OF THIS DOCUMENT DOES NOT DEROGATE FROM RESERVED OWNERSHIP RIGHTS IN IT. THE DOCUMENT IS FOR USE ONLY FOR THE PROJECT IDENTIFIED IN THE TITLE BLOCK AND IS NOT TO BE USED FOR OTHER PURPOSES OR ADDITION TO THAT PROJECT OR FOR ANY OTHER PROJECT.



Revisions:

Sheet Title:

PRELIMINARY PLAT

Designed by: CTS Drawn by: KDM Checked by: EMF

Sheet No.

GAS:
CASCADE NATURAL GAS CORPORATION
CASEY ROBERTS: 509.820.8235

POWER:
BENTON PUD
MIKE IRVING: 509.582.1230

COMMUNICATION:
CHARTER COMMUNICATIONS
ROBERT EARLY: 509.727.3798

FRONTIER
GREG GOODWIN: 509.736.3720

WATER/SEWER:
CITY OF KENNEWICK
ENGINEERING DEPARTMENT: 509.585.4419

IRRIGATION:
KENNEWICK IRRIGATION DISTRICT
BEN WOODARD: 509.586.6012

VERTICAL DATUM

NAVD 1988 VERTICAL DATUM ON
ORTHOMETRICALLY CORRECTED GPS
OBSERVATIONS USING WSRN AND GEOID
2012A. UNITS OF MEASUREMENT ARE US
SURVEY FEET.

UTILITIES

PARCEL NO.

PARCEL: 1-0389-302-0042-005

BASIS OF BEARING

NAD 1983
WASHINGTON STATE PLANE SOUTH
PROJECTION, BASED ON GPS
OBSERVATIONS USING WSRN AND GEOID
2012A. UNITS OF MEASUREMENT ARE US
SURVEY FEET.

SITE ADDRESS

3908 WEST 7TH AVENUE
KENNEWICK, WA 99336

SURVEYOR

AHBL INC.
5804 ROAD 90, SUITE H
PASCO, WA 99301
PH: 509.380.5883
CONTACT: JOHN BECKER, PLS

CIVIL ENGINEER

AHBL INC.
5804 ROAD 90, SUITE H
PASCO, WA 99301
PH: 509.380.5883
CONTACT: CALEB STROMSTAD, PE

OWNER

AR HOLDINGS, LLC.
1364 KENSINGTON WAY
RICHLAND, WA 99352-7871

APPLICANT

JAYA HOLDINGS, LLC.
1364 KENSINGTON WAY
RICHLAND, WA 99352-7871
PH: 619.400.7845
CONTACT: MALLIKARJUNA R. VALLEM, PhD



Department of Energy

Bonneville Power Administration
2211 N. Commercial Avenue
Pasco, WA 99301

TRANSMISSION SERVICES

September 20, 2018

In reply refer to: Highlands Preliminary Plat – PP 18-04/PLN-2017-0225/ED 18-32
Located within a Portion of Section 3, Township 8 North,
Range 29 East, W.M., Benton County, Washington

Steve Donovan
City of Kennewick
Community Planning/Planner
210 W. 6th Avenue - PO Box 6108
Kennewick, WA 99336

Dear Steve:

Bonneville Power Administration (BPA) has had the opportunity to review Highlands Preliminary Plat – PP 18-04/PLN-2017-0225/ED 18-32. The project request is to create 30 lots on 2.47 acres. The property is located at 3908 W 7th Avenue in Kennewick, WA; County parcel number 103893020042005.

In researching our records, we have found that this proposal will not directly impact BPA facilities in that area. BPA does not have any objections to the approval of this request at this time.

Thank you for the opportunity to review this application. If you have any questions regarding this request or need additional information, please feel free to contact me. I can be reached at (503) 230-5510 or by email at mjdeklyen@bpa.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read "Mike DeKlyen", is written over a horizontal line.

Mike DeKlyen
BPA Field Realty Specialist



2015 South Ely Street
Kennewick, WA 99337
Customer Service 509-586-9111
Business 509-586-6012
FAX 509-586-7663
www.kid.org

September 27, 2018

Steve Donovan
Development Services
City of Kennewick
210 W. 6th Avenue
Kennewick, WA 99336

Subject: KID Comments PP 18-04 - Highlands - Wet

Dear Mr. Donovan:

This letter provides Kennewick Irrigation District (KID) review comments on Preliminary Plat 2018-04 for Highlands. **These comments/conditions of approval are preliminary and subject to change pending KID Board Action on October 2, 2018, at which time, an updated letter will be provided to the City of Kennewick.** This preliminary plat is generally located west of Morain St and east of the KID Lowlift Canal, in Kennewick, WA. and includes the following parcel:

- 1-0389-302-0042-005 (2.26 irrigable acres)

The property identified on the proposed preliminary plat is located within the KID boundaries. The property within this preliminary plat is classified as irrigable land and consists of **2.26 irrigable acres**. KID provides the following comments as a condition of approval by the legislative authority for R.C.W. 58.17.310:

- 1) The following are KID easement requirements:
 - a. Dedicate to KID an irrigation easement 10 feet in width via a recorded deed to match any irrigation system components, centered on an irrigation pipe line.
 - b. Dedicate to KID an irrigation easement 10 feet in width, five (5) feet in width if adjacent to a utility easement, along the road frontage of all lots.
 - c. *Please note there are existing irrigation pipelines and appurtenances within the property. These irrigation facilities must be maintained and protected during construction. The property owner or developer will be required to replace these irrigation facilities if damaged during construction or the buried depth changes to be less than 30" of cover.*
 - i. *Please see the attached Map #1 which shows the general locations of these facilities and easements.*

- ii. *The 6”/2” pipeline and service line that runs west to east through the subdivision may be abandoned if a new pressurized service is installed and connected for parcel 103893020042002.*
- 2) The property owner or developer is required to install an irrigation system that conforms to the most recent edition of the KID Standard Specifications pursuant to Resolution 86-15-A. This includes providing distribution pipelines adequate to provide individual pressurized irrigation services to each lot within the preliminary plat. This system will be dedicated to the KID upon completion, at the time of final plat.
 - a. Please note, it is recommended that the land owner or developer meet with KID to discuss options that satisfy this requirement, which will include the following:
 - i. The installation of completed irrigation facilities, which include the installation of irrigation piping and services and other irrigation appurtenances, to provide pressurized irrigation water to the project.
 - 1. *This subdivision will become part of the KID PSA 149. Please see the attached Map #2 which shows two alternatives for the KID approved connection points.*
 - 2. Contact Daniel Tissell at dtissell@kid.org for more information.
 - b. KID General Irrigation System Standards and Specifications Policy 4.19:
 - i. *1.1.2 – For multi-family dwelling units such as duplexes, multi-plexes, where units are attached to one another, they shall be served by a riser to each building regardless of whether each building has its own tax parcel.*
 - ii. *1.1.3 – For single-family attached units (town homes or townhouses), Service Risers shall be installed no further than 300 ft. apart, with a service riser to each side of a street right of way or access easement. Each tax parcel shall be charged its appropriate tier/toll charge based on the most recent approved tier/toll rate structure.*
 - c. Please note, as an alternative to immediate construction the owner may choose to delay installation of the irrigation system by entering into a facilities installation agreement with the KID. The owner must provide the KID with an irrigation system design that conforms to the most recent addition of the KID standard specifications. This irrigation system may be bonded and delayed up to five years. The facility installation agreement charge is \$350.00. The owner must establish an approved bonding mechanism with the KID in an amount approved by KID.
- 3) The property owner or developer is required to submit an irrigation plan designed by a professional engineer for review and approval by the KID. The plan may be hand drawn or computer drafted. The plan shall be accurate and to a scale not to exceed one (1) inch = 50 feet. This is a vital step of the approval process. After approval of the plan, completion of all the facilities is required prior to KID signature on the Final Plat. Please contact me at 586-9111 for more information regarding this irrigation plan.

- a. In addition, this plan shall ensure all reasonable measures are taken to protect any easements, ROW's, and facilities. In the event any KID facilities are damaged during construction, the damage must be fully repaired to KID's then-existing standards.
 - i. Please be aware that existing KID infrastructure runs through the middle of this project. Maps are available for information that is more detailed.
 - b. For each phase of the Project, KID review and approval of construction and grading plans is required to allow KID to assure all reasonable measures to protect any easements and ROW's. Such review and approval will be coordinated as part of the City's review and Final Plat approval process.
 - c. No permanent structures are allowed within the KID's ROW.
- 4) The KID must inspect any new irrigation system installations or modifications. The property owner or developer shall contact the KID to arrange an inspection at least 48 hours in advance of the desired inspection date.
- 5) Prior to approval of each phase, the current year's assessment must be paid. If the final plat is submitted for review after May 31st of a given year or submitted for review prior to May 31st but not submitted for final approval prior to June 15th, the next year's estimated assessment (125% of the current year's assessment) must be paid prior to plat approval.
- 6) Prior to approval of the first phase, the United States Bureau of Reclamation (USBR) construction loan for **all parcels** owned by the property owner within the boundaries of the KID must be paid and all other USBR requirements associated with this payout must be completed.
- 7) The Review and Inspection fees in place at the time of each review request must be paid. At the time of application the review fees are as follows:
 - a. A Preliminary Plat review fee of \$825.00 which must be paid prior to scheduling for final plat approval at a KID Board meeting for the first phase.
 - b. For each Phase, an inspection fee \$350 for the first 20 lots/tracts plus \$25 per lot/tract after 20 lots/tracts.
 - c. Final Plat review fee for each phase of \$225.00.
- 8) Per KID Policy 4.17, "Irrigable Land Recalibration Principles," as land within the boundaries of the KID is subdivided or developed; KID will remove the irrigation water allocation from the impermeable surfaces, such as streets, from the plats.
- 9) In order to receive KID irrigation water delivery, a Watermaster (or point of contact) for the subdivision must be appointed. This water master can be appointed by the Home Owners Association (or similar organization) officers, or must be elected from among the property owners within the boundary of this proposed subdivision. If no HOA (or similar

organization) is organized, than an election method similar to the attached document is required.

- 10) Prior to approval of each phase, an electronic file (AutoCAD 2004 format) and hard copy (6-mil mylar, sealed by a professional engineer) of construction as-builts must be provided to KID.
- 11) All subdivisions of land are required to be approved by the KID Board of Directors during a KID Board Meeting. KID Board Meetings are regularly scheduled on the first and third Tuesdays of each month. All conditions must be completed prior to submittal to KID for final approval. The submittal for final approval must be received by KID a minimum of two weeks prior to a regularly scheduled Board Meeting in order to be considered at that meeting.
- 12) Conditions Related to Design, Grading, and Construction
 - a. Provisions should be made to allow canal, flood waters and irrigation return flows from up gradient water users to drain through existing drainage paths.
 - b. For each phase of the Project, KID review and approval of construction plans is required to allow KID to assure all reasonable measures to protect any easements and ROWs. Such review and approval will be coordinated as part of the City's review and Final Plat approval process.
- 13) Conditions Related to Residential Use, The Applicant Shall:
 - a. Include the potential failure of KID system components in its public offering statement for the plat pursuant to RCW 58.19.055(1)(r), which requires a public offering statement to include “[a] list of any physical hazards known to the developer which particularly affect the development or the immediate vicinity in which the developer is located and which are not readily ascertainable by the purchaser”; and
- 14) Future review, KID reserves the following rights regarding future review of the plat:
 - a. KID reserves the right to provide review comments under RCW 58.17.330(1) and RCW 58.17.330(2) in response to future design submittals by the Applicant prior to final plat approval. The scope of these reviews will be limited to Phases that are adjacent to the District's Rights of Way. KID review of construction plans will be consistent with the City of Kennewick's plan review timelines.
 - b. KID reserves the right to review and comment on the Applicant's plat line revisions for potential additional revisions to protect KID system components for Phases that are adjacent to KID's easements or ROWs.
 - c. KID reserves the right to review and comment on the Applicant's CC&Rs to evaluate whether they should include any terms regarding protection of KID system components after construction and fencing requirements.

- d. KID reserves the right to submit additional comments during the City's review process under the State Environmental Policy Act (SEPA).
- e. All subdivisions of land are required to be approved by the KID Board of Directors.

Please provide notice to KID of any Public meeting or hearing where this project will be an agenda item. If you have any questions regarding these comments, please contact me at the address/phone number listed below.

Sincerely,

Jason McShane, P.E.
Engineering & Operations Manager

Enc: Sample Water Master Information
Map #1 - KID Existing Facilities
Map #2 - KID Connection Points

C: LB\correspondence\File: [03-08-29]



MEMORANDUM

Fire Department

To: Steve Donovan, Development Services
From: Brian Ellis, Deputy Fire Marshal
Date: December 12, 2018
Re: 30 lots Pre-Plat at 3908 W 7th Avenue
Project: PP 18-04 / PLN-2018-02625

1. Move hydrant proposed between lot 6 & 7 across the street to lot 22 on Road B.
2. Provide AutoTURN generated radius evaluation for Fire Department Vehicles

Brian Ellis

Captain/Deputy Fire Marshal



Brandon Potts • *Director of Capital Projects*
5501 W. Metaline • Kennewick, WA 99336
P: (509) 222-7667 • F: (509) 222-5057
Brandon.Potts@ksd.org • www.ksd.org

December 13, 2018

Steve Donovan
Community Planning/Planner
City of Kennewick
210 W. 6th Ave.
Kennewick, WA 99336

Steve,

This memo is written in regards to your request for the Kennewick School District #17 to address capacity questions in regards to the Highlands Preliminary Plat application. The school district was asked to identify the boundary schools for this development and state if each of the schools were within walking zones or received bussing. The boundary schools for this development are Edison Elementary (Bussing Zone), Highlands Middle School (Walking Zone) and Southridge High School (Bussing Zone).

The Kennewick School District has a Ten-Year Plan in place that forecasts future growth. It is impossible to know exactly where pockets of growth may occur, but the district works closely with the City of Kennewick and Benton County to make sure that we own property near projected areas of growth. Having property near potential growth areas allows us to add schools where the students are living, and to avoid additional bussing or redistricting of our boundaries. That being said, we do occasionally have to redistrict to keep our schools within our preferred enrollment numbers.

The Kennewick School District has the capacity to add students at all levels and at the three schools mentioned in this letter. Forecasted growth in additional boundary areas of the Kennewick School District makes it difficult to know if any redistricting could result because of this proposed development.

Sincerely,

Brandon Potts

From: [Nate Higgins](#)
To: [Steve Donovan](#)
Subject: Public Comment - Developement off of W 7th Ave in Kennewick
Date: Monday, September 10, 2018 2:40:36 PM

Steve,

After looking at the preliminary plat, my only concern is that the residents at 3920 have sufficient parking on the side of the residence. I'd really like to work with the developer on this. I don't want to make the man's life more difficult, but I do need to ensure the viability of the residence. I'd appreciate it if he would meet me at the property to show me exactly what he plans to have happen.

--

Nate Higgins
Columbia Real Estate Advisors
(509) 280-9711

From: [Nathan Joshlin](#)
To: [Steve Donovan](#)
Subject: File number PP 18-04/PLN-2018-02625
Date: Tuesday, September 18, 2018 11:09:58 AM

Hi Mr. Donovan,

my name is Nathan Joshlin. My wife and I live at 512 S Perry Ct. I noticed the sign posted on W 7th Avenue for the developing of the Complex in the field near Highlands Middle school. I would like to clarify the boundary included in the plans and our backyard which has been disputed verbally with the previous owner. My concern is that half of our backyard would be included in these plans and with developing there, there would be damage to our sprinkler system, trees and our fence. We're flexible and simply want to know the intentions of the developer regarding this area. Thanks for your time and look forward to hearing back from you.

Nate

From: [Leonardo Luzi](#)
To: [Steve Donovan](#)
Subject: File number. PP 18-04/PLN-2018-02625
Date: Friday, September 21, 2018 1:10:11 PM

Mister Donovan,

My name is Leonardo Luzi, and I am the owner of the property at 3912 West 7th Avenue, Kennewick, WA, 99336. I am writing this email, about the Public Notice I saw by my house for the property 3908 West 7th Avenue. I already came to the City hall (planning department, I believe) and I talked to a very nice woman, (Michelle) because my concern is about the 24' ingress and egress easement that I have to access to my property. I just want to be sure that the easement will be free for me to access to my house, and not inside a fenced property in which I have to access to get to my home (driving through someone else's property). According with what I saw there should not be a problem, but I still want let you know.

I also have few questions that I hope you can answer

- the new development is going to be a rental, or - owner occupied?
- they are going to be one, or two stories buildings?
- they need a zone changing or it is already a medium density residential?
- do you know when they are planning to start building?

Thank you for your courtesy.

Leonardo Luzi (509) 438-6027

Sent from my iPad



COMMUNITY PLANNING DEPARTMENT

STAFF REPORT AND RECOMMENDATION TO THE HEARING EXAMINER

FILE No: APPEAL 18-01/PLN-2018-03440

Staff Report Date: January 2, 2019

**Public Hearing
Date and Location:** January 14, 2019, Kennewick City Hall

Report Prepared By: Steve Donovan, Planner

Report Reviewed By: Gregory McCormick, AICP, Planning Director

Appellant(s): Gilbert Pitkoff and Veronica Hanson Pitkoff
5310 W 8th Avenue
Kennewick, WA 99336

Exhibits:

1. Staff Report
2. Appeal Application and Appeal Letter
3. Letter from Gilbert Pitkoff, dated November 15, 2018
4. Preliminary Short Plat Approval Letter SP 18-13/PLN-2018-02922
5. Hearing Notice, mailing list and mailing affidavit for parties of record
6. Letter from Scott Ridgeway, dated 1/03/19

Staff Analysis of Proposal & Discussion:

The City of Kennewick issued Preliminary Short Plat approval for File Number SP 18-13/PLN-2018-02922 on October 17, 2018. The plat consists of three lots and is subject to 11 conditions of approval.

On October 26, 2018 the appellants submitted the application to appeal the preliminary approval. Below is the appellant's reasoning for denial along with staff's response:

- "The plat map need to indicate the utility easement and the storm water easement as referenced in the preliminary approval plan, Memorandum, Public Works dated 9/25/18, from Fernando Garcia to Steve Donovan, item 6"

***Staff Response:** As stated in Condition #2 of Preliminary Short Plan Approval, the developer must meet the requirements in the 9/25/18 memorandum from the Public Works Department prior to Final Short Plat Approval. The short plat will not be approved if the conditions are not met. The final short plat will be reviewed by the Public Works Department to ensure that all preliminary conditions are met.*

- “As referenced in the memorandum from Deputy Fire Marshal, Brian Ellis dated 9/25/18, item 3: Access in excess of 150ft shall have an approved turnaround for Emergency Vehicles KAC 8-21-080. This access is missing from the surveyor’s report.”

Staff Response: As stated in Condition #5 of Preliminary Short Plan Approval, the developer is required to meet the requirements in the 9/25/18 memorandum from the Fire Department prior to Final Short Plat Approval. The developer will be required to construct the required turnaround and show it on the face of the plat prior to Final Short Plat Approval.

- “Per the surveyor’s report, there is a 10 inch discrepancy in the overall width of Lot 2, showing 120’10”.”

Staff Response: The developer will be required to correct all surveying errors prior to the final approval of the short plat.

- “Finally, the majority of the property owners in Ranchette Estates, Unit 2 are opposed to this short plat action at 5500 W. 10th Ave. in the City of Kennewick due to the fact that it violates the Restrictions and Protective Covenants for the property, as stated in the paragraph; “Future Subdivision of Estates”. In your letter to Scott Ridgeway dated 10/17/18 under Conclusions of the Law, item 4, you state that the public use and interest will be served by permitting the proposed division of property. We strongly disagree with that statement. To allow the interest of one individual at the expense of the neighborhood is incongruent with serving the public interest.”

Staff Response: The City of Kennewick has no authority to enforce private restrictive covenants. Additionally, at the time Ranchette Estates Unit 2 was originally platted, there were no conditions of approval that limited the size of lots for future development.

In regard to public use and interest, it is the opinion of staff that the proposed plat meets the intent of the comprehensive plan and the requirements of Title 17-Subdivisions. The comprehensive plan and development regulations were adopted via the required public process.

Staff Recommendation

Based on the review of the appeal letter, the conditions of approval and the lack of evidence that city staff erred in issuing preliminary approval, staff recommends that the preliminary approval issued on October 17, 2018 for SP 18-13/PLN-2018-02922 be upheld.

CITY OF KENNEWICK

COMMUNITY PLANNING & DEVELOPMENT SERVICES

APPLICATION (general form)

PAID

APPEAL 18-02

OCT 26 2018 PROJECT # SP18-13 PLN-2018-02922 FEE \$ 578.00

PLN-2018-03440

PLEASE completely fill out this form and return it to Community Planning & Development Services, PO Box 6108, Kennewick, WA 99336, along with the application fee (see fee schedule). Attach a copy of the checklist for the land use application you are submitting. The application submittal must contain all of the information requested on the checklist in order to be processed. **Incomplete applications will not be accepted.**

Check one of the following for the type of application you are submitting:

Site Plan Tier 1 ☐ Tier 2 ☐ Tier 3 ☐ Binding Site Plan ☐
 Short Plat ☐ Conditional Use ☐ Other APPEAL

Environmental Determination PLN- _____ - _____ Pre Application Meeting PLN- _____ - _____

Applicant: Vernon Hansen-Pitkoft and Gilbert PitkoftAddress: 5310 W. 8th Ave Kennewick, WA 99336

Primary Cell

Telephone: 509-948-2504 Cell Phone: 509-948-1627 Fax: _____ E-mail: ablebodymessage@hotmail.com

Property Owner (if other than applicant): _____

Address: _____

Telephone: _____ Cell Phone: _____ E-mail: _____

SITE INFORMATION

Parcel No. 1-0489-307-0001-009 Acres 1.00 Zoning: RSAddress of property: 5500 W. 10th Ave, Kennewick, WA 99336

Number of Existing Parking Spaces _____ Number of Proposed (New) Parking Spaces _____

Present use of property _____

Size of existing structure: _____ sq. ft. Size of Proposed addition/New structure: _____ sq. ft.

Height of building: _____ Cubic feet of excavation: _____ Cost of new construction _____

Benton County Assessor Market Improvement Value: _____

Description of Project: Appealing the preliminary approval for Short Plat SP18-13/PLN-2018-02922 - see attached letter

I, the undersigned, do hereby certify that, to the best of my knowledge, the information provided above is true and correct.

Applicant's Signature

Signature of owner or owner's authorized representative

Date: 10-26-18

October 24, 2018

City of Kennewick
Development Services
Community Planning
210 W. 6th Ave
Kennewick, WA 99336

Re: Short Plat SP 18-13/PLN-2018-02922 at 5500 W. 10th Ave., Kennewick, WA
Tax parcel #1-0489-307-0001-009
Proposed subdivision

Dear Sirs,

Please consider this letter to be our formal written letter of appeal in response to the preliminary approval for Short Plat SP 18-13/PLN-2018-02922.

We have concerns that have not been addressed in the submitted surveyor's report.

The plat map needs to indicate the utility easement and the storm water easement as referenced in the preliminary approval plan, Memorandum, Public Works dated 9/25/18, from Fernando Garcia to Steve Donovan, item 6.

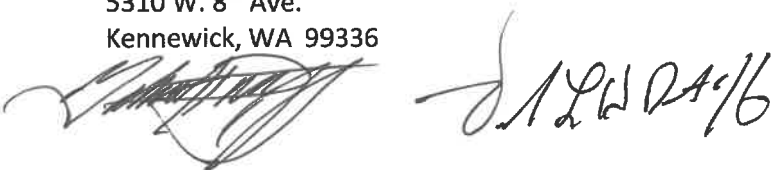
As referenced in the memorandum from Deputy Fire Marshal, Brian Ellis dated 9/25/18, item 3: Access in excess of 150ft shall have an approved turnaround for Emergency Vehicles KAC 8-21-080. This access is missing from the surveyor's report.

Per the surveyor's report, there is a 10 inch discrepancy in the overall width of Lot 2, showing 120' 10".

Finally, the majority of the property owners in Ranchette Estates, Unit 2 are opposed to this short plat action at 5500 W. 10th Ave. in the City of Kennewick due to the fact that it violates the Restrictions and Protective Covenants for the property, as stated in the paragraph; "Future Subdivision of Estates". In your letter to Scott Ridgeway dated 10/17/18 under Conclusions of the Law, item 4, you state that the public use and interest will be served by permitting the proposed division of property. We strongly disagree with that statement. To allow the interest of one individual at the expense of the neighborhood is incongruent with serving the public interest.

Sincerely,

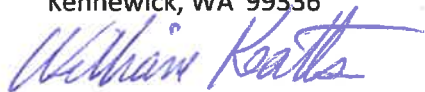
Gilbert and Veronika Pitkoff
5310 W. 8th Ave.
Kennewick, WA 99336

Two handwritten signatures in black ink. The signature on the left is more stylized and cursive, while the signature on the right is more legible and appears to read 'JAN 24/16'.

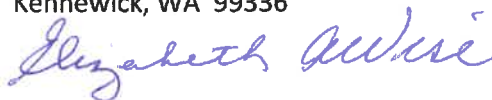
Pg 2/2

Ref: Short Plat SP 18-13/PLN-2018-02922 at 5500 W. 10th Ave, Kennewick
Appeal application

William Keatts
711 S. Harrison St.
Kennewick, WA 99336



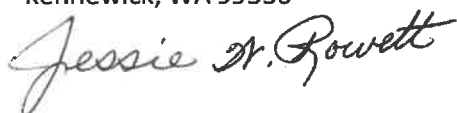
Elizabeth Wise
5808 W. 10th Ave
Kennewick, WA 99336



Pam and Ron Potter
5512 W. 10th Ave
Kennewick, WA 99336



Jessie Rowette
5404 W. 10th Ave
Kennewick, WA 99336



Joe and Patricia Axtell
5501 W. 8th Ave
Kennewick, WA 99336



November 15, 2018

City of Kennewick
Development Services
Community Planning
210 W. 6th Ave
Kennewick, WA 99336

Re: Preliminary approval of Short Plat SP 18-13/PLN -2018-02922
at 5500 W. 10th Ave., Kennewick, WA
Tax parcel #1-0489-307-0001-009

Attn: Steve Donovan

Dear Mr. Donovan,

It is my understanding per our telephone conversation of November 8, 2018 that the developer would consider modifying their plat request based on my appeal being vacated. The terms proposed as I understand them would be to divide parcel #1-0489-307-0001-009 into two equal sized lots with an access easement to the rear lot extending from 10th Ave. The rear lot would have no frontage on 10th Ave.

This proposal would modify the developers previous request to have the single one-acre lot divided into three lots.

An appeal of the City's tentative approval of the three-lot subdivision is pending.

The homeowner's association and neighboring lot owners are very concerned that the City has failed to consider all of the ramifications of dividing the lot into two or three lots:

1. The traffic impact on 10th Ave and the precedent being set for 8th Ave which is a highly congested two-lane residential roadway that is unable to withstand the potential of doubling the current traffic.

Edison Street would also experience a significant increase in traffic.

2. Emergency and fire vehicle access
Neither the three lot or the two-lot proposal adequately addresses the emergency access necessary to satisfy City, State and Local requirements.

No proposed subdivision submitted to the City of Kennewick without adequate provisions for safety should be approved.

If approved without adequate consideration a precedent would be established for the entire sub division future development.

3. Storm water

The City has not required any provision for storm water runoff. The Developer must provide an adequate plan to accommodate storm water ramifications.

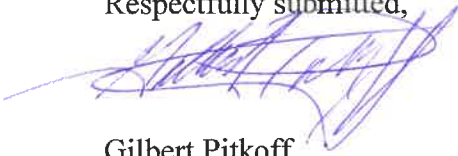
By approving the proposed division of the property, a precedent would be created that will allow for the doubling of the number of houses in the subdivision.

4. The restrictive covenants of Ranchette Estates prohibit the further subdivision of lots from one acre without having frontage on the access road equal to one-half the width of the original lot. This provision originally anticipated 9th Ave being installed which would allow access to the rear of the property and would potentially accommodate the division of a one-acre lot into two half acre lots with access from both 10th Ave and 9th Ave.

It appears obvious that the City required the 9th Ave easement to accommodate future development when Ranchette Estates became less rural. We are confident that the City of Kennewick did not want two driveways at each lot, this is dangerous.

For these reasons we do not believe the City should approve the short plat as proposed by dividing a one-acre residential parcel into two or three residential parcels.

Respectfully submitted,



Gilbert Pitkoff
5310 W. 8th Ave.
Kennewick, WA 99336
(509)948-2504
ablebodymassage@hotmail.com



**Development Services
Community Planning
210 W 6TH Ave
Kennewick, WA 99336**

October 17, 2018

Scott Ridgeway
169 Bear Drive
Richland, WA 99352

RE: Preliminary Approval for Short Plat SP 18-13/PLN-2018-02922

Mr. Ridgeway:

The City of Kennewick has conditionally approved your Preliminary Short Plat application. Approval is subject to the following conditions:

1. Make the changes to the face of the plat, as shown on the attached Plat Comments.
2. Adhere to requirements in the attached 9/25/18 Public Works Memorandum.
3. Adhere to requirements in the attached 9/28/18 Traffic Engineering Division Memorandum.
4. Adhere to the requirements in the attached 9/26/18 Kennewick Irrigation District Letter.
5. Adhere to the requirements in the attached 9/25/2018 Fire Department Memorandum.
6. Review comments in the attached 10/02/18 Benton Public Utility District email.
7. The proposed access easement/road is required to be hard surfaced and completed or bonded for prior to final plat approval.
8. The proposal is subject to the applicable Residential Design Standards – Single Family.
9. A Final Short Plat must be approved. You can proceed with the Final Short Plat application when ready. Please review KMC 17.13.081 and 17.13.085 for requirements along with the Final Short Plat requirements outlined in your application packet (Final Short Plat Application packet included in [Short Plat Application](#)).
10. The property has been posted for the 10 day appeal period as of this date. The appeal period will expire 10 days from this date.
11. **Application Expiration: Per KMC 17.13.045 and 4.12.075 any application for which a conditional approval has been made and for which no substantial progress has been made to meet permit approval requirements for a period of 180 day after the permit's conditional approval, the application will expire and become null and void. One 180 day extension may be requested in writing prior to the expiration date.**

Attached are comments from surrounding property in regard to requirements of the private covenants of Ranchette Estates Unit two.

Pursuant to KMC 17.13.090, any party aggrieved by this decision may submit an appeal in writing, with applicable fees, to the Hearing Examiner within 10 days of the date of this decision.

Please feel free to call me at (509)585-4361 if you need any additional information.

Sincerely,

Stephen Donovan
Planner

Attachments:

1. Findings of Fact and Conclusions of Law.
2. Plat Comments
3. Memorandum – Public Works
4. Memorandum – Traffic Engineering Division
5. Kennewick Irrigation District Letter
6. Memorandum – Fire Department
7. Benton Public Utility District Email
8. Surrounding Property Owner Comments

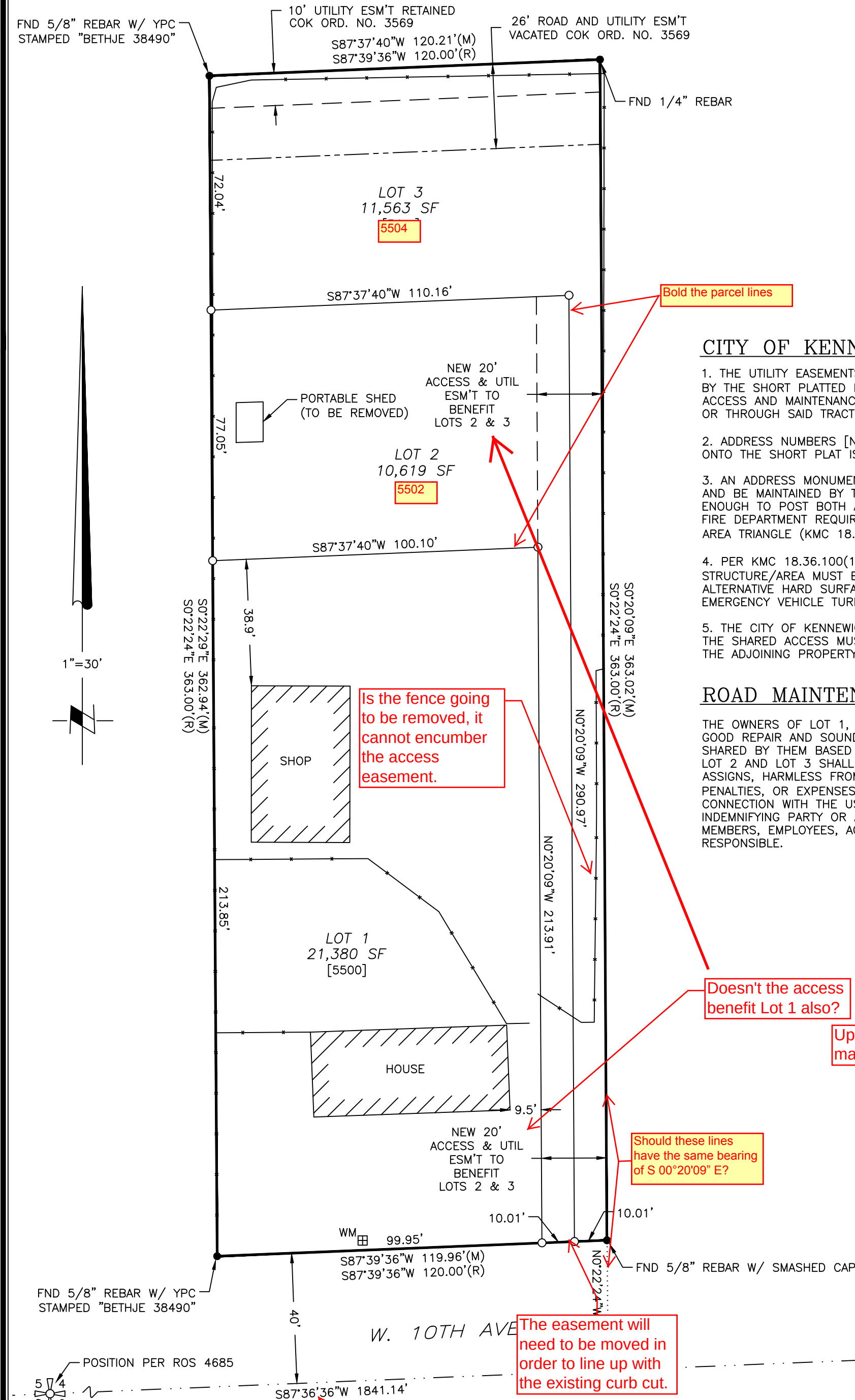
cc: Parties of Record
SP 18-13/PLN-2018-02922 File

Findings of Fact

1. The applicant, Scott Ridgeway has proposed to divide a 1 acre parcel into three lots.
2. Short Plat SP 18-13/PLN-2018-02922 is located at 5500 W 10th Avenue.
3. All lots will be served by City water and sewer services.
4. The property is zoned Residential, Suburban (RS) and the Comprehensive Plan land use designation is Low Density Residential.
5. The payment for application SP 18-13/PLN-2018-02922 was received by the City of Kennewick on September 18, 2018 and the application was declared complete for the purpose of processing on September 24, 2018.
6. The short plat was routed for review to the Municipal Services Department, Community and Planning Department, the Corporate and Community Services Department, GIS, the Fire Department, Kennewick Irrigation District, Benton PUD, Ben Franklin Transit, Charter Communications, Kennewick School District, Verizon, Cascade Natural Gas, Benton Franklin Health District and the Benton Clean Air Authority.
7. All lots conform to the requirements of KMC Chapters [17.13](#), [17.20](#), and [18.12](#).
8. Appropriate provisions are made for the public health, safety, and general welfare and for such open spaces, drainage ways, streets or roads, alleys, other public ways, transit stops, potable water supplies, sanitary wastes, parks and recreation, playgrounds, schools and school grounds and sidewalks that assure safe walking conditions for students who only walk to and from school.
9. The City of Kennewick has no authority to enforce private covenants.
10. A Final Short Plat application must be submitted for approval prior to City of Kennewick signature on the short plat survey drawing.

Conclusions of Law

1. All applicable requirements of [Title 17-Subdivisions](#) will be fulfilled as conditioned.
2. Approval, as conditioned, will result in lots that will conform to the dimensional specifications prescribed in the RS zoning district.
3. The proposed lots conform to the applicable policies contained in the Kennewick Comprehensive Plan.
4. The public use and interest will be served by permitting the proposed division of property.



This is a Benton County Ordinance

SHORT PLAT NO.

PREPARED UNDER SHORT PLAT ORDINANCE NO.103
THE E1/2, OF LOT 1, BLOCK 1, OF UNIT TWO RANCHETTE
ESTATES SITUATE IN THE SE 1/4 OF THE SW 1/4 OF
SECTION 4, TOWNSHIP 8 NORTH, RANGE 29 EAST, W.M.
CITY OF KENNEWICK, BENTON COUNTY, WASHINGTON

RECORD LEGAL DESCRIPTION

THE EAST HALF OF LOT 1, BLOCK 1, UNIT TWO, RANCHETTE ESTATES, ACCORDING TO THE PLAT
THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 90, RECORDS OF BENTON COUNTY, WASHINGTON.

OWNERS CERTIFICATE

WE, THE UNDERSIGNED, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE TRACT OF LAND
DESCRIBED HEREON, THAT WE HAVE CAUSED SAID LAND TO BE SURVEYED AND SHORT PLATTED INTO
LOTS AS SHOWN WITH OUR CONSENT AND IN ACCORDANCE WITH OUR DESIRES AND THAT THE
EASEMENTS ON THE SHORT PLAT ARE HEREBY GRANTED FOR THE USES SHOWN THEREON.

SCOTT RIDGEWAY

ACKNOWLEDGMENT

STATE OF WASHINGTON } S.S.
COUNTY OF BENTON

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT SCOTT RIDGEWAY, WHO
ACQUIRED TITLE AS A SINGLE MAN, SIGNED THIS INSTRUMENT AND ACKNOWLEDGE IT TO
BE HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES MENTIONED IN THE
INSTRUMENT.

DATED: _____ NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

TITLE: _____

MY APPOINTMENT EXPIRES: _____

APPROVALS

I HEREBY CERTIFY THAT THE TAXES ON THE LAND DESCRIBED HEREON HAVE BEEN PAID
TO AND INCLUDING THE YEAR 20____. PARCEL# 1-0489-307-0001-009

BENTON COUNTY TREASURER _____ DATE _____

THE SHORT PLAT IS HEREBY APPROVED BY AND FOR THE CITY OF KENNEWICK, BENTON COUNTY, WA
SP 18-13
~~SP 18-XX~~ / PLN-2018-XXXX

CITY OF KENNEWICK FILE NUMBER _____ CITY OF KENNEWICK PLAT ADMINISTRATOR _____ DATE _____

THE UTILITY EASEMENTS SHOWN HEREON ARE HEREBY APPROVED BY BENTON COUNTY P.U.D.

BENTON COUNTY P.U.D. _____ TITLE _____ DATE _____

IRRIGATION APPROVAL

I HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREON IS LOCATED WITHIN
THE COLUMBIA IRRIGATION DISTRICT AND THAT THIS PROPERTY IS CLASSIFIED AS IRRIGABLE LAND AND IS
ENTITLED TO IRRIGATION WATER UNDER THE EXISTING OPERATING RULES AND REGULATIONS OF THIS
DISTRICT. I FURTHER CERTIFY THAT THE IRRIGATION EASEMENTS SHOWN ON THIS SHORT PLAT ARE
ADEQUATE TO SERVE ALL LOTS SHOWN HEREON PER THE REQUIREMENTS OF RCW 58.17.310. I FURTHER
CERTIFY THAT ALL ASSESSMENTS HAVE BEEN PAID THROUGH THE YEAR 20____.

COLUMBIA IRRIGATION DISTRICT _____ DATE _____

AUDITOR'S CERTIFICATE

FILED FOR RECORD AT THE REQUEST OF ROGERS SURVEYING AT ____ M.,
THIS ____ DAY OF _____, 20____ A.D., AND RECORDED IN VOLUME 1 OF
SHORT PLATS, AT PAGE _____, RECORDS OF BENTON COUNTY, WASHINGTON.

BENTON COUNTY AUDITOR _____ FEE NUMBER _____ REV: NONE

SURVEYOR'S NOTES:

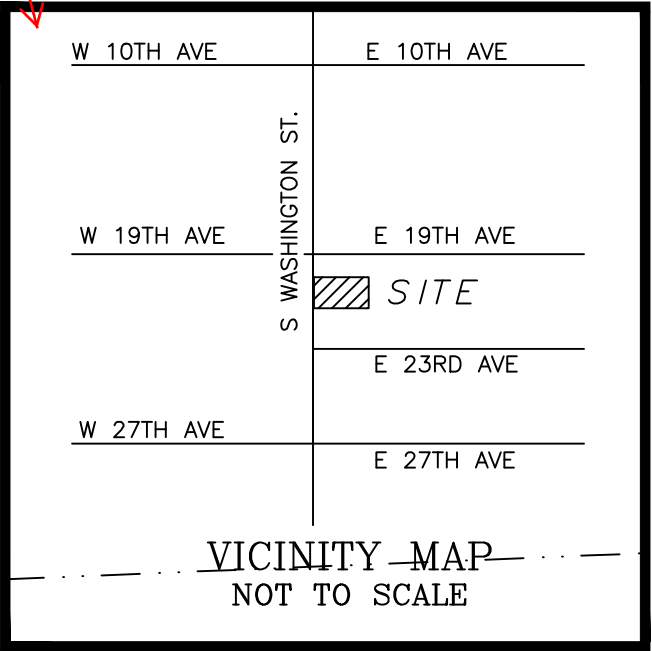
1. BASIS OF BEARING IS THE SOUTH LINE OF LOT 1, BLOCK 1, UNIT TWO, RANCHETTE ESTATES
PER RECORD OF SURVEY RECORDED IN VOLUME 1 OF SURVEYS, PAGE 4685.
2. ○ = SET 5/8" REBAR WITH YELLOW CAP STAMPED "DPB WA 41028."
3. ● = FOUND 5/8" REBAR, PER RECORD SURVEY 4685 OR AS NOTED.
4. (R) = RECORD PER RECORD SURVEY 4685, (C) = COMPUTED, (M) = MEASURED
5. EQUIPMENT AND PROCEDURES USED: A LEICA MS60 1" [1mm + 1ppm] MULTI STATION
USING CLOSED TRAVERSE & RADIAL SURVEY METHODS.



SURVEYOR'S CERTIFICATION

I, DAVID P. BAALMAN, A PROFESSIONAL LAND
SURVEYOR IN THE STATE OF WASHINGTON, (REG#
41028) HEREBY CERTIFY THAT THE SHORT PLAT AS
SHOWN HEREON IS BASED ON AN ACTUAL FIELD
SURVEY OF THE LAND DESCRIBED AND THAT ALL
CORNERS AND DIMENSIONS ARE CORRECTLY SHOWN
AND THAT SAID SHORT PLAT IS STAKED ON THE
GROUND AS INDICATED HEREON.

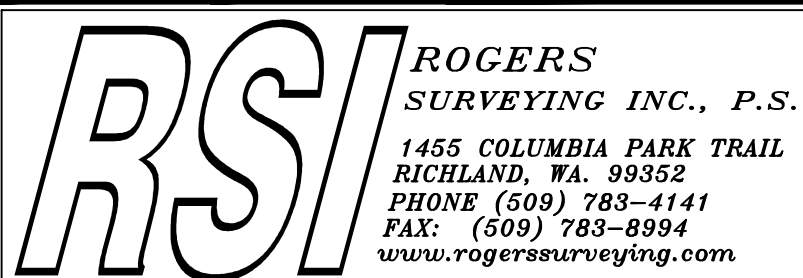
DATE _____



Incorrect irrigation
district, the
proposal is in the
KID.

The easement will
need to be moved in
order to line up with
the existing curb cut.

PRELIMINARY



CLIENT		RANCHLAND HOMES		JOB
PROJECT		SHORT PLAT		10218
E1/2, LOT 1, BLK 1, UNIT 2, RANCHETTE ESTATES				
DRN. BY	BAG	SCALE	1"= 30'	F. B. NO. 836
APPROVED	DPB	DATE	3/26/18	ACAD VER - C3D17
		FILE: 10218.DWG		SHEET 1 OF 2

is there 2 sheets



Memorandum **Public Works**

Leading the Way

To: Steve Donovan, Planner

From: Fernando Garcia, Development Services Supervisor

Date: September 25, 2018

Re: Public Works Consolidated Comments

Project: Short Plat No. 18-13/PLN-2018-02922

1. There is an existing 16-inch waterline on W 10th Ave installed by Record Drawing E2051.
2. There is an existing 8-inch sanitary sewer stubbed to the southeast corner of Lot 1 installed by Record Drawing E2051. Install SS laterals with a sanitary cleanout at the end to allow future connections to existing 8-inch sanitary sewer.
3. Provide water and sanitary sewer services for each proposed Lot per Kennewick Municipal Code 17.13.095(1). Construct water and sewer services City of Kennewick (COK) Detail 3-6.
4. Make provisions for the proposed water services serving the proposed lots, final location shall be outside existing and future driveway approach; provide a waterline easement when required.
5. All plans showing existing water or sewer utilities shall call out the plan set number that installed such utilities. All plans need to clearly identify the size and type of water/sewer utility that is being proposed or connected to (ie "Existing 8-inch Water" or similar).
6. Provide a Stormwater Site Plan (drainage report) and storm design when new impervious exceeds 5,000 SQ FT. Follow the Stormwater Management Manual for Eastern Washington (SMMEW), and City of Kennewick Standard Specifications Section 5-9.02. Infiltration tests are required at the location and depth of the planned infiltration structures along with a soils log to 5 feet below that point.
7. All underground infiltration structures must be designed and installed to meet the Washington State Underground Injection Control (UIC) Rule. Provide an assessment of the design against the UIC pretreatment requirements. Provide UIC registration numbers on the plans prior seeking the City's signature.
8. This site requires a separate DPW Permit for Civil Plan Reviews with the following:
 - a. PDF copy of the Application for Civil Review and Permitting and Storm Calculations.
 - b. One full size (24"x36") PDF copy of the construction plans.

PUBLIC WORKS

- c. Record Drawings, showing improvements made on the property, will be required prior to acceptance of the utility permit. Drawings shall be supplied following the Project control requirements found at <https://www.go2kennewick.com/314/Civil-Plan-Review>
9. Kennewick Survey Data Requirements for Construction Plans and As built Drawings:
- a. All projects will be built with current City Survey Data.
 - b. For detailed information on Kennewick Survey Data and Record Drawings & Easements go to COK website @ <https://www.go2kennewick.com/314/Civil-Plan-Review>
 - c. Questions contact Matt Garrity at matthew.garrity@ci.kennewick.wa.us 509-585-4531

PUBLIC WORKS



MEMORANDUM

Traffic Engineering Division

To: Steve Donovan, Planner
From: Joe Seet, Assistant Traffic Engineer
Date: September 28, 2018
Re: Traffic Engineering Comments for 5500 W 10th Ave., Short Plat 1 acre into three lots
Project: SPA 18-13/PLN-2018-02922

KMC 13.16 Transportation Impact Fees

1. The proposed Short Plat is in District 3. The Traffic Impact Fee is \$982/Dwelling Unit based on a land use of Single-Family Detached Housing.

Traffic Operations

1. No trip generation and distribution analysis letter is required.

Proposed Driveway(s)

1. Provide sightline setback triangles per KMC 18.27.060(3) for proposed driveway.

Right of Way and Easement

1. Joint/shared driveways will require a mutual Access Easement recorded for the lots sharing the common driveway. The easement shall be recorded with dimensional information and location description and details.

American Disability Act (ADA) Compliance

1. Existing driveway(s) being used by the proposed development need to be evaluated and, if applicable, upgraded to meet City's current standards for ADA and sight distance compliance. If the existing driveway is in compliance, no upgrades will be required.



2015 South Ely Street
Kennewick, WA 99337
Phone 509-586-9111
FAX 509-586-7663
www.kid.org

September 26, 2018

Steve Donovan
City of Kennewick/Planning Department
P.O. Box 6108
Kennewick, WA 99336

Subject: Review Comments for SP 18-13/PLN-2018-02922

Dear Mr. Donovan:

This letter provides Kennewick Irrigation District (KID) review comments for Short Plat 2018-13 submitted by Scott Ridgeway, to divide an approximately 1.0-acre parcel into three (3) lots. The property is generally located at 5500 W. 10th Ave., Kennewick, WA 99337, in the SW Quarter of Section 04, Township 08 North, Range 29 East, W.M. (1-0489-307-0001-009 **1.0** irrigable acres).

The property identified on the proposed short plat is located within the KID boundaries. The property within this short plat is classified as irrigable land. KID provides the following comments as a condition of approval by the legislative authority for R.C.W. 58.17.310:

- 1) The following are KID easement requirements:
 - a. Dedicate to KID an irrigation easement 10 feet in width via a recorded deed to match any existing irrigation system centered on an existing irrigation line.
 - i. *Please add a 10' irrigation easement over the existing KID service and private pipeline located along the western boundary of the property. This existing service can remain in place and serve Lot 1.*
 - b. Dedicate to KID an irrigation easement 10 feet in width, five (5) feet in width if adjacent to a utility easement, along the road frontage or access easements of all lots. An irrigation easement must be located in all lots.
 - i. Within the City of Kennewick KID allows a "Sidewalk, Utility and Irrigation easement" and an "Access and Irrigation easement."
 1. *Please change the 20' Access & Utility Easement to read "Access, Utility and Irrigation" easement and extend all the way along the eastern side of property to the northern border of property.*
- 2) The property owner or developer is required to install an irrigation system that conforms to the most recent edition of the KID Standard Specifications pursuant to Resolution 86-15-A. This includes providing distribution pipelines adequate to provide individual pressurized irrigation services to all lots within the short plat.
 - a. *New service connections must be installed for Lots 2 and 3. (See note 1.a.i. from above for information regarding Lot 1).*

- i. *Please install these services in the NE corner of Lot 3 and provide an irrigation easement to run private pipeline to Lot 2.*
 - ii. Contact Rebecca Hiles at rhiles@kid.org for more information on this connection location.
 - b. As an alternative to the immediate construction of KID improvements, the owner may choose to delay installation of the irrigation system by entering into a bond and facilities installation agreement with the KID. The owner must provide the KID with an irrigation system design that conforms to the most recent addition of the KID standard specifications. This irrigation system may be delayed up to five years. The facility installation agreement charge is \$350.00. The owner must establish an approved bonding mechanism with the KID in an amount approved by KID.
- 3) The property owner or developer is required to submit an irrigation plan designed by a professional engineer for review and approval by the KID. The plan may be hand drawn or computer drafted. The plan shall be accurate and to a scale not to exceed one (1) inch = 50 feet. This is a vital step of the approval process. After approval of the plan, completion of all the facilities is required prior to KID signature on the Short Plat. Please contact me at 509-586-9111 for more information regarding this irrigation plan.
 - 4) The KID must inspect any new irrigation system installations or modifications. The property owner or developer shall contact the KID to arrange an inspection at least 48 hours in advance of the desired inspection.
 - 5) The current year's assessment balance and the estimated next year's assessment (125% of the current year), at the time of final approval, for parcel number 1-0489-307-0001-009 must be paid prior to KID signature on the Short Plat. The remaining balance on the 2018 assessment is **\$301.55**. The 2019-estimated assessment is **\$753.88**.
 - 6) The following fees for review and inspection also must be paid prior to KID signature on the Short Plat:
 - a. A Short Plat review fee of \$350.00.
 - b. An inspection fee of \$175.00.
 The total due for review and inspection fees is **\$525.00**.
 - 7) The grand total (assessments plus fees) due is: **\$1,580.43**. Fees are subject to change and are dependent on the date the short plat is submitted for final approval.
 - 8) An electronic file (AutoCAD 2004 format) and hard copy (6-mil Mylar, sealed by a professional engineer) of construction as-builts must be provided to KID.
 - 9) Please include the following irrigation title block:
 - a. I HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREIN IS
LOCATED WITHIN THE BOUNDARIES OF THE KENNEWICK

IRRIGATION DISTRICT, THAT THE IRRIGATION EASEMENTS SHOWN ON THIS SHORT PLAT _____ ARE ADEQUATE TO SERVE ALL LOTS SHOWN HEREON. I FURTHER CERTIFY THAT THOSE LOTS WHICH ARE ENTITLED TO IRRIGATION WATER UNDER THE OPERATING RULES AND REGULATIONS OF THE DISTRICT HAVE SATISFIED THE REQUIREMENTS OF RCW 58.17.310, AND THAT ALL ASSESSMENTS HAVE BEEN PAID THROUGH THE YEAR 20 ____ A.D.

- 10) All subdivisions of land are required to be approved by the KID Board of Directors during a KID Board Meeting. KID Board Meetings are regularly scheduled on the first and third Tuesdays of each month. All conditions must be completed prior to submittal to KID for final approval. The submittal for final approval must be received by KID a minimum of one week prior to a regularly scheduled Board Meeting in order to be considered at that meeting. This change can potentially extend the approval process by a minimum of one week.

If you have any questions regarding these comments, please contact me at the address/phone number listed above.

Sincerely,

A handwritten signature in blue ink, appearing to read "Rebecca S. Hiles", with a stylized flourish at the end.

Rebecca S. Hiles
Staff Engineer



MEMORANDUM

Fire Department

To: Steven Donovan, Planning
From: Brian Ellis, Deputy Fire Marshal
Date: September 25, 2018
Re: 5500 W 10th Avenue (1 lot into 3 Lots)
Project: PLN-2018-02922 SP 18-13

1. Recommend that an Emergency Vehicle Easement be obtained along proposed access to lot 3.
2. "No Parking Fire Lane" signs should be installed on one side of proposed access.
3. Access in excess of 150' shall have an approved turnaround for Emergency Vehicles. KAC 8-21-080
4. Address monument at street shall denote the structures down the access. The signage to be approved by Fire Department prior to installation.

Brian Ellis

Captain/Deputy Fire Marshal

From: [Chad Brooks](#)
To: [Steve Donovan](#)
Subject: RE: [E] SP 13/PLN-201802922
Date: Tuesday, October 02, 2018 8:06:47 AM
Attachments: [image002.png](#)
[image004.png](#)
[image003.png](#)

Benton PUD may require additional easement to place power facilities separate from 20ft access/utility easement. Power to lots 2 and 3 will require a primary line extension that will be at the cost of the developer/owner. Meter base can only be 200ft away from transformer for 200amp service and 250ft for a 320amp service and bigger. Contractor will need to contact Benton PUD for onsite meeting to determine power facility layout.

Vicinity map is incorrect on plan.

Thank you

Chad Brooks
Distribution Design Tech I
Benton PUD
Email: brooksc@bentonpud.org
Main # (509)582-2175
Direct # (509)582-1233



From: Steve Donovan [mailto:Steve.Donovan@ci.kennewick.wa.us]
Sent: Monday, September 24, 2018 8:16 AM
To: BC Planning Department; BC Planning Department Clark Posey; Ben Franklin Transit - Kevin Sliger; Benton Clean Air Authority - Rob Rodger; Benton Clean Air Authority - Tyler Thompson; Benton Clean Air John Lyle; Benton Franklin Health Dept - Rick Dawson; EngService; Jeff Vosahlo; Chad Brooks; Mike Irving; Shanna Everson; Tina Archey; BPA - Deborah Rodgers; BPA - Joe Cottrell; BPA - Mike Deklyen; Charter Communication - Dean Kelley; Charter Communications - Robert Early; Columbia Irrigation District; Dustin Fisk - Kennewick School District (dustin.fisk@ksd.org); Frontier - Gregory Goodwin; James Thomas; KID Development; Mike Blatman; Shane O'Neill; US Army Corps of Engineers; Williams Pipeline - Audie Neuson; WSDOT
Subject: [E] SP 13/PLN-201802922

Attached is a proposed short plat.

Let me know if you have any questions.

Steve



Steve Donovan

City of Kennewick

Community Planning/Planner

O: 509.585.4361

Steve.Donovan@ci.kennewick.wa.us

Caution: This email originated from outside of Benton PUD. Do not click links or open attachments unless you recognize the sender and know the content is safe

Disclaimer: Public documents and records are available to the public as required under the Washington State Public Records Act (RCW 42.56). The information contained in all correspondence with a public entity may be disclosable to third party requesters under the Public Records Act.

October 9, 2018

City of Kennewick
Planning Department
Attn: Steve Donovan
210 W. 6th Ave
Kennewick, WA 99336

First Class Mail / Certified Return Receipt Requested

Email: steve.donovan@ci.kennewick.wa.us

Scott Ridgeway
169 Bear Drive
Richland, WA 99352

First Class Mail / Certified Return Receipt Requested

Email: scott.ridgeway@caliberhomeloans.com

IN RE: 5500 W. 10th Ave, Kennewick, WA 99336
Tax Parcel No. 1-0489-307-0001-009
Proposed subdivision

Dear Steve and Scott,

As an adjoining land owner and member of Ranchette Estates Unit II, I am herein providing my formal objection of the proposed subdivision of the referenced one-acre lot into three (3) residential lots.

The proposed subdivision fails to take into consideration the applicable recorded Restrictive and Protective Covenants of Ranchette Estates (copy attached).

These covenants restrict the division of a one-acre property into two (2) lots and requires frontage on the access road not a private driveway.

For these reasons I object and if necessary will take civil action to enforce the covenants.



Joe Axtell
5501 W. 8th
Kennewick WA 99336
Phone: (509)783-4868
Email: j.axtell@frontier.com

8-90 Exhibit 4

587730
VOL 238 PAGE 75

RESTRICTIONS AND PROTECTIVE COVENANTS
OF
UNIT II OF RANCHETTE ESTATES

PIONEER NATL TITLE INS. CO.

FEB 23 9 52 AM '98

VERIFIED BY: AUDITOR

DEPUTY

REC. VOL. 238

We, the undersigned, being the owner of the following described real property,
to-wit:

Unit II of Ranchette Estates

INDEXED BY MB

CHECKED BY MB

do hereby declare the following restrictions and covenants which shall run with the land and shall be binding on all parties and their heirs, successors or assigns hereafter and until January, 1972, and shall thereafter be automatically extended for successive periods of five years, unless by a vote of the majority of the then owners of the lots, it is agreed to change said covenants in whole or in part.

If the parties hereto, or their heirs, successors or assigns, shall violate or attempt to violate any of the following covenants, it shall be lawful for any other person or persons owning any real property situated in the above described area to prosecute any proceedings at law or in equity against the person or persons violating or attempting to violate any such covenant and either to request injunctive relief or damages for such violation. Invalidation of any one of the following covenants by a court of competent jurisdiction shall in no wise affect any of the other covenants which shall remain in full force and effect.

PURPOSE It is the intent and purpose of these provisions to assure the initial development of this property in the form of individual small acreages with high quality residences where the future owners and their families may pursue small scale, part time agricultural and animal husbandry activities such as may be characterized by ownership and use of riding horses and 4H or FFA projects for young people. It is further the intent and purpose of these restrictions and covenants to assure the high quality of dwellings and other structures now and in the future, to protect the health, safety, welfare, security of monetary investment, and to further all things conducive to harmony and compatibility among neighbors. And finally, it is the purpose and intent of these provisions to assure the orderly and eventual conversion of this property into a high quality residential area which can be readily integrated with the anticipated growth of the adjacent community.

NEIGHBORHOOD COMMITTEE These covenants, construction on the premises, and irrigation provisions hereinafter described shall be under the jurisdiction of a neighborhood committee composed of landowners in the subdivision. Harold Thompson shall constitute the committee until other owners have purchased property in the subdivision. Thereafter the committee shall consist of three (3) persons elected by the majority of the landowners in the sub-division.

The committee shall have the authority to approve all proposed construction in the sub-division for compliance with these covenants before construction is started. Such committee shall not have authority to waive any conditions of these covenants, but failure to secure their approval will be deemed a violation and any construction or activity without such approval may be enjoined and damages

Restrictions
Unit II of Ranchette Estates

collected for the violation by any landowner in the sub-division.

FUTURE SUB-DIVISION OF ESTATES All of the presently platted estates have at least one full dimension fronting on a road. Any of these estates may be sub-divided by description and without platting into two lots, each with frontage equal to one-half that of the unsub-divided estate. One of these sub-divisions may be as small as about one quarter of a two acre estate. All such sub-divisions shall be of regular form with boundaries parallel to the original estate boundaries except, of course, in those cases where a boundary may be irregular such as along the canal right of way, in which situation the new boundary of the sub-division shall be parallel to the appropriate straight side. In order to provide some measure of latitude and flexibility, dimensions of sub-divided sections may vary within ten percent of the half dimensions of the original estate measurements, excluding road easements. The resulting area of the new sub-division may not also vary by more than ten percent from a half or a quarter of the original estate area. To assure logical future resub-division in accordance with the above requirements, dwellings and other permanent structures shall be appropriately oriented and confined to an area comprising a quarter of an original estate and which may thus be totally disposed of later as one of the minimum sized areas as specified above, of not less than one-half an acre in size.

If the future owners elect to sub-divide their estates for sale as lots as indicated above, they shall provide easements or rights of way for the delivery of domestic and irrigation water to each of such sub-division.

DWELLINGS AND STRUCTURES No dwelling, barn, shed or shelter of any kind with a covered area greater than twenty-five square feet shall be placed on any of the property by moving thereon such a structure or building which had earlier been erected at any other location.

No trailer, basement, tent, shack, garage, barn or other outbuilding erected or placed on the property shall at any time be used as a residence temporarily or permanently, nor shall any structure of a temporary character be used as a residence.

No structure or dwelling shall exceed two stories in height. Residences shall be single unit dwellings having an enclosed, ground floor, projected living area of not less than 1150 square feet, east of Edison, and 1250 square feet, west of Edison, for a single floor plan and not less than 1000 square feet for other than single floor plan structure. Such area does not include porches, garages, patios, breezeways, etc. No outbuildings shall have a sheltered area greater than that of the dwelling.

Dwellings shall comply with not less than minimum F.H.A. requirements and specifications.

Outbuildings shall be set away from dwellings by a distance of not less than forty feet.

Garages shall be no larger than adequate for three cars.

Restrictions
Unit II of Ranchette Estates

VOL 238 PAGE 77

Any dwelling or other structure erected or placed on the property shall be completed as to external appearance including finished painting, within twelve months of commencement of construction.

Until such time as a sanitary sewer system shall have been extended to serve the area, sewage disposal facilities for dwellings shall be provided in accordance with the requirements of Benton County Ordinance No. 72, and the Health Authority with jurisdiction.

LOCATION OF DWELLINGS AND STRUCTURES No dwelling, barn, garage or other structure shall be constructed nearer than 30 feet to the edge of any street or road easement or nearer than 12 feet to the estate boundaries. In addition, no permanent building shall be placed in the space between the dwelling and the street.

FENCING No barbed wire fencing shall be used between the street line and the dwelling and within 12 feet on either side of the dwelling. Any other fencing from this area to the street line, if provided, shall be of a decorative nature with a height of not more than four feet.

LIVESTOCK It is the intent that owners may conduct limited livestock and poultry operations, the extent of which would be controlled essentially by the capability of the land to support such activities. In recognition of such capabilities, owners of estates shall not maintain more than four large animals, either cattle or horses, twenty sheep (including lambs) or four goats on the property. No pigs. Up to 300 chickens or other poultry may also be kept. All such animal husbandry efforts must be conducted in a creditable manner such that they will be of essentially minimum offensiveness or nuisance to neighbors, with particular reference to shelter, confinement, noise, and disposal of wastes.

If an owner elects to dispose of a portion of his estate, the numbers of animals and poultry permitted shall be reduced essentially in proportion to the area of the property for which the owner has use. For owners of property which comprises about one quarter of an original estate, no livestock operations may be conducted and poultry shall be limited to a flock of not more than fifty birds.

AGRICULTURAL USES The property may be used for the production of crops including other horticultural activities such as nurseries. Display and sales stands will be permitted only for products grown on the property, and placed between the dwelling and the street line temporarily and only for the duration of the selling season. Signs, not larger than six square feet in area, may be used only during the same period.

IRRIGATION WATER USAGE Adequate irrigation water shall be supplied under pressure. The neighborhood committee shall have full authority to operate and maintain the irrigation system. Each lot in the sub-division shall be charged its prorata share of the cost of maintenance of the system in each year. The

Restrictions
Unit II of Ranchette Estates

VOL 238 PAGE 78

irrigation system shall deliver water to the boundaries of the respective lots at one turnout.

Upon full development of the sub-division, rotation of irrigation deliveries may be required. The neighborhood committee shall be vested with full power to establish the rotation calendar of days and hours when water will be made available to the respective lots and all lots in the sub-division shall be subject to this schedule. The committee may change the schedule from time to time as circumstances require. The purpose of the irrigation regulations shall be to distribute irrigation water to all of the lots in the most equitable manner possible.

RESTRICTIONS ON OTHER USES This property shall not be used for storage for construction machinery or rental equipment.

No public garage, manufactory, mercantile business, repair or craft occupation may be conducted as a significant part of the activity on any of these estates.

No inoperable farm machinery, including tractors, trucks, or automobiles may be held on the property for more than six months.

No used machinery or scrap equipment, implements, automobiles, or conspicuous parts of such equipment which serve no purpose in operation of the estate may be held or accumulated on the property.

No trash shall be dumped or allowed to accumulate on any part of the property. This includes excess excavation material which cannot be beneficially utilized for fill, driveways, or other construction purposes. No excavating shall be carried out farther than necessary to place any portion of any estate on grade or for building on said premises.

EASEMENTS Easements as indicated on the plat have been dedicated for irrigation water lines, future roads, and for public utility purposes. As long as these easements are not employed for the intended uses, the owners of the land affected by said easements shall have the use of same. It should be understood, of course, that any structure or fencing erected thereon are subject to removal whenever these easements are employed for the intended public uses.


HAROLD N. THOMPSON


ARLENE THOMPSON

STATE OF WASHINGTON)
 : ss
COUNTY OF BENTON)

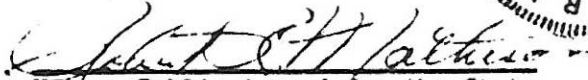
On this 21st day of February, 1968, before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn personally appeared Harold N. Thompson and Arlene Thompson to me known to be the

Restrictions
Unit II of Ranchette Estates

VOL 238 PAGE 79

individuals described in and who executed the foregoing instrument, and acknowledged to me that they signed and sealed the said instrument as their and voluntary act and deed for the uses and purposes therein mentioned.

WITNESS my hand and official seal hereto affixed the day and year in certificate above written.


Notary Public in and for the State
of Washington, residing at Kennewick.



From: razncain@charter.net
To: [Steve Donovan](#)
Subject: 5500 W. 10th Avenue
Date: Sunday, October 07, 2018 1:11:52 PM

Dear Mr. Donovan,

As members of the Ranchette Estates neighborhood, we are concerned about the possible subdivision of 5500 W. 10th Avenue.

We have grandfathered covenants, as per notifications at closing of our home purchase. Our neighborhood covenants specify a minimum one-half acre lot, with street frontage. Additionally, we are allowed 2 large animals and other stipulations. These covenants were acceptable to the City of Kennewick at the time we were incorporated into city limits and we feel they should be maintained to present time. We bought our home in this neighborhood 13 years ago and we wish to maintain the open, rural atmosphere that is Ranchette Estates.

Thank you for addressing this issue.

Sincerely,

Mark and Mary Cain

5707 W. 8th Avenue
Kennewick, WA 99336
509-736-0538



Virus-free. www.avast.com

From: [MrJwd1956](#)
To: [Steve Donovan](#); [Lisa Beaton](#); [Bonnie Lanning](#); [Gregory McCormick](#)
Cc: [Jeff DeLine](#); [gilpit58@gmail.com](#)
Subject: 5500 W. 10th Ave Proposed Subdivision
Date: Wednesday, October 03, 2018 9:57:49 AM

Ms. Beaton Mr. Donovan, Mr. McCormick,

It has come to my attention that the property on 5500 W. 10th Ave has plans to subdivide the property and place two more homes on said property. This is in direct violation of "Restrictions and Protective Covenants of Ranchette Estates", which states under section ***"FUTURE SUBDIVISION OF ESTATES- All of the presently platted estates have at least one full dimension fronting on a road. Any of these two lots, each with frontage equal to one-half that of the unsub-divided estate. One of these subdivisions may be as small as about one quarter of a two acre estate. All such sub divisions shall be of regular form with boundaries parallel to the original estate boundaries except, of course, in those case where a boundary may be irregular such as along the canal right of way, in which situation the new boundary of the subdivision shall be parallel to the appropriate straight side. In order to provide some measure of latitude and flexibility, dimensions of the subdivided sections may vary within ten percent of the half dimensions of the original estate measurements, excluding road easements. The resulting area of the new subdivision may not also vary by more than ten percent from a half or a quarter of the original estate area. To assure logical future resub-division in accordance with the above requirements, dwellings and other permanent structures shall be appropriately oriented and confined to an area comprising a quarter of an original estate and which may thus be totally disposed of later as one of the minimum sized areas as specified above, of not less than one-half an acre in size."***

I fully understand that the City of Kennewick does not enforce covenants but in turn they cannot knowingly violate them either and force land owners into civil disputes. Just because the City of Kennewick has a less restrictive requirement then Ranchette Estates does not mean that the legal requirements governing our covenants are less important and can be dismissed by the city. Or can they, which requires explanation by the City of Kennewick.

In 2005 Ranchette Estates was annexed into the City of Kennewick. During annexation did Ranchette Estates unknowingly give up its covenant restrictions for land size for subdivision when incorporated into the City of Kennewick? If this is the case then it was never discussed or revealed to the land owners of Ranchette Estates during any of the City Hall meetings or in writing prior to annexation.

Also, as a side concern, the City of Kennewick purchased 5500 W. 10th Ave for \$275,750.00 in 5/21/13 from Mr. and Mrs. Cray and then sold it to Mr. Ridgeway on 5/13/2015 for \$230,500.00 which was a loss to the tax payers of \$45,000. I find this information shocking since it was sold during an up time in the housing market.

At this time I am requesting that a hold be placed on the approval of the subdivision at 5500 W. 10th Ave until resident's concerns and questions have been answered in writing by the City of Kennewick and the answer(s) have been reviewed with land owners of Ranchette Estates. I also plan to discuss these issues with the Mayor at the next City Council meeting.

Respectfully yours,

Jeff DeLine

P.S. I can be contacted at 509-948-7409 for discussions but still request a response in writing. I will also follow up this email with a call to verify your receipt of this concern.

From: [Genie Gilmore](#)
To: [Steve Donovan](#)
Subject: 5500 W 10th Ave Kennewick WA
Date: Wednesday, October 03, 2018 1:49:39 PM

Steve Donovan,

The owner of 5500 W 10th Ave in Kennewick is planning to rezone his property and build 2 additional residences on the 1 acre lot. Our community Promissory Covenants clearly state that his plans are not allowed. According to this document no lot can be subdivided into an area containing less than ½ acre. Additionally, each lot must have frontage to the road. Neither of these would be possible with his property layout.

Aside from the clear restrictions he was made aware of at the time he bought the property there are many of us in the neighborhood who feel it an invasion of the privacy we ourselves purchased. We live in this community for the space, the quiet, and the country ambiance. The construction alone would be intrusive! Once complete the new driveways (not permitted by the Covenants) would run right by pre-existing bedrooms! These new houses would back up kitty-corner to my own land. I am not OK with additional neighbors, the inevitable noise, or the crowding of our view. I am not OK with my established neighbors being built around and crowded out. We are not a housing development. We are a semi-limited-use community.

This request to rezone should be promptly denied.

Thank you for your timely attention to this matter,
Margene Gilmore

From: [William Keatts](#)
To: [Steve Donovan](#); [Bonnie Lanning](#)
Subject: Nonconformance proposal for 5500 w 10th Ave
Date: Wednesday, October 03, 2018 7:01:07 PM

Our neighborhood coveants set minimum lot size at 0.5 acre. I bought my home here to have more space, not have multiple occupancy or prefabricated housing. Please honor the Ranchette Estates subdivision covenants and restrictions by not permitting lots less than 0.5 acres. Thank you, Bill Keatts, 711 S Harrison St

From: [gilpit58](#)
To: [Steve Donovan](#)
Subject: 5500 W. 10th
Date: Monday, October 01, 2018 6:35:39 PM

Hi Steve

Nice talking with you today. I am the first but won't be the last to voice objection to the exception of allowing 5500 W.10th to subdivide into 3 dwellings on the acre. I've lived at 5310 W8th Ave. for 25 years. Most of them in the county. So you see, things like this happen when you become part of the city. Very unfortunate because it sets a precedence to change the whole intention of Ranchette estates. At its inception as stated in our covenant, this type of subdivision of property is not allowed. This was intended to be a 4H or agricultural type of community. Nothing less than .5 acres, and must have both divisions with frontage on the road. Very sad to see this being requested and possibly approved.

Sincerely,

Gilbert Pitkoff

Sent from my Sprint Samsung Galaxy S® 6.

From: [Veronika Pitkoff](#)
To: [Steve Donovan](#); scott.ridgeway@caliberhomeloans.com
Subject: Proposed subdivision of 5500 W. 10th Ave.
Date: Tuesday, October 09, 2018 2:25:32 PM

October 9, 2018

City of Kennewick
Planning Dept
Attn: Steve Donovan
210 W. 6th Ave.
Kennewick, WA 99336

Scott Ridgeway
169 Bear Dr.
Richland, WA 99352

IN RE: 5500 W. 10th Ave., Kennewick, WA 99336
Tax Parcel #1-0489-307-0001-009
Proposed Subdivision

Dear Steve and Scott,

As a home owner in Ranchette Estates Unit II, I wish to declare my formal objection to your proposal to subdivide this referenced one acre lot into three sections with three dwelling on the acre.

There are restrictions in the Protective Covenant of Ranchette Estates that your proposal fails to take into consideration and is clearly prohibited.

According to our Covenant, one acre lots can't be subdivided into any parcels smaller than ½ acre, and would require both lots to have frontage on a road. This Covenant does not allow access through a private driveway.

If you continue to be in non-compliance with the Covenant, I will take civil action to make sure it is enforced.

Gilbert Pitkoff

5310 W.8th Ave.

Kennewick, WA 99336

Phone: (509)948-2504

Email: gilpit58@gmail.com

From: [Jessie Rowett](#)
To: [Steve Donovan](#)
Subject: Division of Property at 5500 W. 10th AVE Kennewick
Date: Monday, October 01, 2018 6:11:05 PM

Jessie Rowett
5404 W 10th AVE
Kennewick, WA 99336

I am writing you to disagree with the division of property at 5500 W 10th AVE, Kennewick. I purchase the property East of this property in 1967 because it was 1 acer + lots with single family dwellings. We wanted the country life style so we could have cows and a garden. We purchased 2 acres for that purpose.

We were forced into the City of Kennewick without our permission. With a division of property with 3 houses on the 1 acre lot would be devastating to me. The driveway to access to those homes would be next to my bedrooms with extra dust and traffic. Which 10th AVE already has more traffic at a constant flow 24 hours a day.

As for the posting of the City Notice of Division of Property, The sign was posted so close to the road that it could not be seen or read unless you stood in the street. (See photo) This was not safe.

I am afraid that if this property is divided that it would take away the semi country life and I would not be able to have my livestock. And also I am afraid of low income homes to go in and bring my property value down.

So PLEASE PLREASE decline the division of this property and any others that may come up.
Thank You Jessie Rowett



From: [Jessie Rowett](#)
To: [Steve Donovan](#); scott.ridgeway@caliberhomeloans.com
Subject: property at 5500W. 10th.Ave, Kennewick, WA.99336
Date: Tuesday, October 09, 2018 3:47:23 PM

Dear Steve & Scott,

As this property adjoins my property and it would not be in my best interest to have 2 more houses on Scott's next door. It would mean traffic next to my bedroom at night. I'm not ready to give the city & Scott more freedom to add more houses to his property. We still like to have our animals and a country atmosphere. If Scott is allowed to build more houses, soon the city would take away our rights to have animals.

The proposed subdivision fails to take into consideration the applicable recorded Restrictive and protective Covenants of Ranchette Estates.

These covenants restrict the division of a one-acre property into two lots and requires frontage on the access road not a private driveway

For these reasons I object and if necessary will take civil action to enforce the covenants.

Jessie W. Rowett
5404 W. 10th. Ave.
Kennewick, WA 99336

From: [Albert Schauble](#)
To: [Steve Donovan](#)
Subject: Ranchette Estates Rezone
Date: Thursday, October 04, 2018 9:37:05 AM

Mr. Donovan,

I have resided at 903 S. Jefferson St.(Ranchette Estates I) in Kennewick, WA. since 1986 (33 years). Recently a neighbor at 5500 W. 10th Avenue has appealed to the City to rezone his property in order to place two additional houses on his one-acre lot. My wife and I are strongly opposed! According to the covenants of our Ranchette Estates subdivision, NO lot can be subdivided into an area containing less than 1/2 acre. This rezoning request would clearly violate our residential covenants. My neighbor could instead place 1 additional house on his one-acre lot and comply. I know of at least three neighbors that did exactly that scenario, making their lot 1/2 acre.

I was originally attracted to the Ranchette Estates area because all the lots were 1 acre, and no smaller than 1/2 acres. The Ranchette Estates neighborhood is really unique, with a small agricultural zoning. Please, can the Ranchette Estates neighborhood remain that way in the future.

Sincerely,

Al & Cheryl Schauble

From: wandaweste@frontier.com
To: [Steve Donovan](#)
Subject: Proposed rezoning
Date: Thursday, October 04, 2018 5:23:46 PM

Steve,

We live at 5308 West 10th Ave in Kennewick. We have become aware of a proposed zoning change for 5500 West 10th.

I must say we are greatly opposed to this change. We have lived here for 37 years and have seen many changes to our neighborhood since we bought our home. We specifically bought in this neighborhood because we wanted a rural area.

Since then we have been annexed into the city (we were given the choice of signing a potential annexation or we would not be able to hook into the city water) We have watched our quiet street turn into a four lane roadway. We had to tear out our front lawn and put in a circular driveway to be able to safely exit our home. We watched as the orchards across the street were torn out and a housing development put in. Now you want to turn our Ranchette Estates into a possible development.

Please consider the people who have lived here for many, many years over the newcomer who wants to destroy our rural setting.

Thank You,

Steve and Wanda Westermeyer
5308 West 10th Ave

October 5, 2018

City of Kennewick Manager Marie Mosley

City of Kennewick Planning Dept. Steve Donovan

City of Kennewick Attorney. Lisa Beaton



After standing in 10th Ave. to attempting to read your tiny sign as cars drove right next to me at 35+++++mph. I walked home and got a camera, again onto that dangerous road to get on my knees to take a picture so I could blow it up to read.

When our homes were taken into the city against our wishes, Mayor Beaver and the Kennewick City Council stated there would be no changes to our community of Ranchette Estates. This rezoning change will be an unacceptable change not only breaking the promise of our city leaders but also breaking our Restrictive/Protective Covenants.

This zoning change would create a dirt gravel road back to two homes creating traffic right next to the bedroom side of the neighbors home, would you want that next to your home?

Mr. Ridgeway purchased the house and land not to be a part of our little community. But to use the house as a rental and the shop as a storage unit for his business. He signed his purchase agreement loan contract that stated he would comply with the covenants on the property. He is not doing so.

We hope the City of Kennewick will act with dedication, honesty, integrity, and compassion for the great number of us giving you our input on this matter.

We love our area, the privacy, the quiet we have in our back yards! I have lived here since 10th Ave. was a two lane dirt road. We do not want our beautiful area of Kennewick to become a 4 house to the acre development.

As you can see WE ARE STRONGLY AGAINST THIS!!!

Ron and Pam Potter

5512 W 10th AVE.

Mr. Steve Donovan, City Planning Department
Ms. Lisa Beaton, City Attorney
City of Kennewick

My name is Elizabeth (Betty) Wise and I live at 5808 W. 10th Ave, Kennewick 99336. I have lived at this address since 1982 and originally purchased this property because of the covenants requiring each lot to be a minimum of ½ acre and have frontage on a road. My property and surrounding area has a rural feel and is known as rural throughout the community.

I have a very real objection to the proposal to subdivide the property at 5500 W. 10th Ave which was originally purchased by the City of Kennewick for the firehouse which was ultimately built at the corner of Kellogg and 10th Ave. It is my understanding that the property was subsequently sold to the owner who now proposes to ignore the covenants which should have been given to him at the time of his purchase. He now proposes to ignore those covenants and subdivide his property. I STRONGLY OBJECT to any blatant disregard of our covenants.

You may reach me at 509-727-4166 for any questions you may have on this matter.

Elizabeth (Betty) Wise
Legal Owner
5808 W. 10th Ave.
Kennewick, Wa. 99336



NOTICE OF MAILING

I, Steve Donovan, on December 26, 2018
mailed 7 copies of Appeal Hearing Notice
for APPEAL 18-01/PLN-2018-03440
to parties of record.

as shown on the attached list.



Signature

37
PITKOFF, GILBERT & GLORIA
5310 W 8TH AVENUE
KENNEWICK, WA 99336

37
KEATTS, WILLIAM
711 S HARRISON STREET
KENNEWICK, WA 99336

37
WISE, ELIZABETHJ
5808 W 10TH AVENUE
KENNEWICK, WA 99336

37
POTTER, RON & PAM
5512 W 10TH AVENUE
KENNEWICK, WA 99336

37
AXTELL, JOE & PATRICIA
5501 W 8TH AVENUE
KENNEWICK, WA 99336

37
ROWETTE, JESSIE
5404 W 10TH AVENUE
KENNEWICK, WA 99336

37
APPEAL 18-01/PLN-2018-03440
PITKOFF, GILBERT & GLORIA
5310 W 8TH AVENUE
KENNEWICK, WA 99336

37
RIDGEWAY, SCOTT
169 BEAR DRIVE
RICHLAND, WA 99352

CITY OF KENNEWICK HEARING EXAMINER

NOTICE OF APPEAL HEARING

January 14, 2019 6:00 p.m.

The City of Kennewick Hearing Examiner will hold an Appeal Hearing on Monday, January 14, 2019, at City Hall Council Chambers, 210 West 6th Avenue, at 6:00 p.m. or as soon as possible thereafter. The Hearing Examiner will review the record of the appeal. Staff will be presenting an overview of the appeal.

Project# APPEAL 18-01 – Appeal of the Preliminary Short Plat approval for Short Plat SP 18-13/ PLN-2018-03440 located at 5500 W 10th Avenue.

For questions about this appeal, please call Steve Donovan (509) 585-4361 or email at steve.donovan@ci.kennewick.wa.us.

The City of Kennewick welcomes participation in appeal hearings. No qualified individual with a disability shall be excluded or denied the benefit of participating in such a hearing. If you wish to use auxiliary aids or require assistance to comment at this public meeting, please contact Steve Donovan at (509) 585-4361 or TDD (509) 585-4425 or through the Washington Relay Service Center TTY at #711 at least ten days prior to the date of the meeting to make arrangements for special needs.

January 3, 2019

Steve Donovan
City of Kennewick – Community Planning
210 W. 6th Ave.
Kennewick, WA 99336

Re: Plat 18-13/PLN-2018-029922 at 5500 W. 10th Ave.

Dear Mr. Donovan:

I am writing in reply to the letter of appeal dated October 24, 2018, particularly the comments related to the recorded covenants. Out of caution and to respect for the covenants I have agreed to reduce my short plat to create two lots. I will agree to do this even though the City's density standards would allow the third lot.

I believe it is the City's role to apply the City Code and governing land use policies to my plat application. It is not the role of the City to interpret or enforce restrictive covenants as part of the approval or the appeal process. However, to the extent the City is giving weight to the covenants, I am commenting as follows:

Purpose and Intent:

1. Upon review of the covenants "Purpose" statement the intent is to "assure the initial development of this property in the form of individual small acreages with high quality residences where the future owners and their families may pursue small scale, part time agricultural and animal husbandry activities. "

Comment: It appears generally that the purpose and intent is for the initial development. I know of horses, chickens and roosters at one location, and cows at another, but from appearances, the covenants are outdated and no longer seem to apply.

2. It is the intent to assure high quality dwellings . . . now and in the future.

Comment: These covenants were signed in 1968. While the standard of "high quality" is subjective, a new house in this subdivision constructed at today's standards is likely to appear in better condition and to current City of Kennewick building code standards than many of the homes in this subdivision.

3. It is the purpose to assure orderly and eventual conversion of this property into a high-quality residential area which can be readily integrated with the anticipated growth of the adjacent community.

Comment: It appears the Thompson's recognized future growth and wanted this subdivision to be integrated into that growth. Higher density exists all around and, in particular, across the street at the Creekstone subdivision. My proposed subdivision is consistent with neighboring development.

Future Sub-Division of Estates:

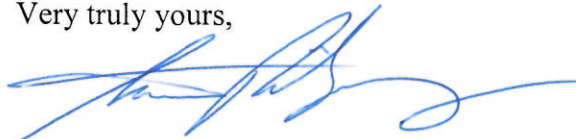
This section requires that any subdivision with each new lot have "frontage equal to one-half that of the unsub-divided estate." The appellants appear to want the City to deny my application because of the frontage issue. I have the following comments on this condition:

1. This feels like a term being used to stop my project rather than allow for logical growth. Frankly, I could reconfigure my plat to abide by this condition. This would require me to demolish the existing home to build the second lot. The net result, a second lot would be approved and constructed, it would just occur at a great expense. In my opinion, the appellants are seeking to make my project more costly rather than address any stated impacts of a second lot.
2. Dividing the existing lot into two long skinny lots is not more desirable, aesthetically pleasing, or allows for better lot usage. In fact, it would likely have the effect of making the new lots very irregular and necessarily result in new homes being constructed closer to the abutting homes.
3. Generally speaking, the frontage requirement serves no purpose, and my belief is that I have offered a reasonable and standard flag lot style solution for access.

I would like to work with the neighboring owners and have their assent or cooperation on approval. Ultimately, I would like to have approval and a product that satisfies my neighbors concerns.

Feel free to distribute this letter to the people that are a part of this appeal, and to any other interested homeowners in this subdivision. At this point I have not had any conversations regarding this matter with any of them, but they are welcome to contact me on my cell phone at 509-539-1039 and I'd be happy to address any of their concerns.

Very truly yours,



Scott Ridgeway

SHORT PLAT NO.

PREPARED UNDER SHORT PLAT ORDINANCE NO.103
THE E1/2, OF LOT 1, BLOCK 1, OF UNIT TWO RANCHETTE
ESTATES SITUATE IN THE SE 1/4 OF THE SW 1/4 OF
SECTION 4, TOWNSHIP 4 NORTH, RANGE 29 EAST, W.M.
CITY OF KENNEWICK, BENTON COUNTY, WASHINGTON

RECORD LEGAL DESCRIPTION

THE EAST HALF OF LOT 1, BLOCK 1, UNIT TWO, RANCHETTE ESTATES, ACCORDING TO THE PLAT
THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 80, RECORDS OF BENTON COUNTY, WASHINGTON.

OWNERS CERTIFICATE

WE, THE UNDERSIGNED, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE TRACT OF LAND
DESCRIBED HEREON, THAT WE HAVE CAUSED SAID LAND TO BE SURVEYED AND SHORT PLATTED INTO
LOTS AS SHOWN WITH OUR CONSENT AND IN ACCORDANCE WITH OUR DESIRES AND THAT THE
EASEMENTS ON THE SHORT PLAT ARE HEREBY GRANTED FOR THE USES SHOWN THEREON.

SCOTT RIDGEWAY

ACKNOWLEDGMENT

STATE OF WASHINGTON } S.S.
COUNTY OF BENTON

I, CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT SCOTT RIDGEWAY, WHO
ACQUIRED TITLE AS A SINGLE MAN, SIGNED THIS INSTRUMENT AND ACKNOWLEDGED IT TO
BE HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES MENTIONED IN THE
INSTRUMENT.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON

TITLE: _____

MY APPOINTMENT EXPIRES: _____

APPROVALS

I HEREBY CERTIFY THAT THE TAKES ON THE LAND DESCRIBED HEREON HAVE BEEN PAID
TO AND INCLUDING THE YEAR 20____. PARCEL# 1-0488-307-0001-009

BENTON COUNTY TREASURER _____ DATE _____

THE SHORT PLAT IS HEREBY APPROVED BY AND FOR THE CITY OF KENNEWICK, BENTON COUNTY, WA

SP 18-XX / PLN-2018-XXXX

CITY OF KENNEWICK PLAT ADMINISTRATOR _____ DATE _____

THE UTILITY EASEMENTS SHOWN HEREON ARE HEREBY APPROVED BY BENTON COUNTY P.U.D.

BENTON COUNTY P.U.D. _____ TITLE _____ DATE _____

IRRIGATION APPROVAL

I HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREON IS LOCATED WITHIN THE BOUNDARIES OF
THE COLUMBIA IRRIGATION DISTRICT AND THAT THIS PROPERTY IS CLASSIFIED AS IRRIGABLE LAND AND IS
ELIGIBLE FOR IRRIGATION. I HEREBY CERTIFY THAT THE IRRIGATION EASEMENTS SHOWN ON THIS SHORT PLAT ARE
ADEQUATE TO SERVE ALL LOTS SHOWN HEREON PER THE REQUIREMENTS OF ROW 58.17.310. I FURTHER
CERTIFY THAT ALL ASSESSMENTS HAVE BEEN PAID THROUGH THE YEAR 20____.

COLUMBIA IRRIGATION DISTRICT _____ DATE _____

AUDITOR'S CERTIFICATE

FILED FOR RECORD AT THE REQUEST OF ROGERS SURVEYING AT _____ M.,
THIS _____ DAY OF _____, 20____ A.D., AND RECORDED IN VOLUME 1 OF
SHORT PLATS, AT PAGE _____ RECORDS OF BENTON COUNTY, WASHINGTON.

BENTON COUNTY AUDITOR _____

FEE NUMBER _____ REV: _____ NONE

RANCHLAND HOMES

SHORT PLAT

E1/2, LOT 1, BLK 1, UNIT 2, RANCHETTE ESTATES

APPROVED DPE DATE 3/26/18 SCALE 1"=30' F.B. NO. 018 ACAD VER - C30.17 SHEET 1 OF 2

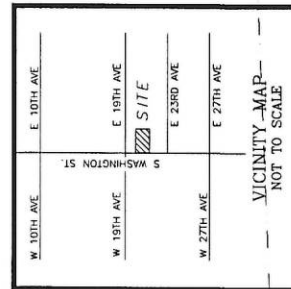
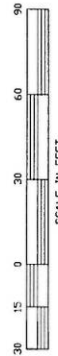
RSI ROGERS SURVEYING INC., P.S.
1465 COLUMBIA PARK TRAIL
RICHLAND, WA 99352
PHONE: (509) 783-8944
FAX: (509) 783-8994
www.rogerssurveying.com

CITY OF KENNEWICK NOTES

- THE UTILITY EASEMENTS SHOWN HEREON ARE HEREBY GRANTED FOR THE USE, ACCESS AND MAINTENANCE
ACCESS AND MAINTENANCE OF THE SHORT PLATTED PROPERTY'S CURRENT UTILITY PROVIDER. SAID UTILITY EASEMENTS ARE FOR THE USE,
ACCESS AND MAINTENANCE OF ELECTRIC POWER, TELEPHONE, CABLE AND OTHER DEFINED UTILITIES, TO AND
ON THROUGH SAID TRACT.
- ADDRESS NUMBERS (NOTED IN BRACKETS) ARE SUBJECT TO CHANGE UNTIL THE LOCATION OF ACCESS
ONTO THE SHORT PLAT IS DETERMINED.
- AN ADDRESS MONUMENT SIGN FOR LOTS 2 AND 3 MUST BE PLACED AT THE STREET ACCESS OF LOT 1
AND BE MAINTAINED BY THE PROPERTY OWNERS OF LOTS 2 AND 3. THE MONUMENT SIGN MUST BE LARGE
ENOUGH TO BE READ FROM THE STREET AND BE IN COMPLIANCE WITH THE CITY OF KENNEWICK
FIRE DEPARTMENT REQUIREMENTS FOR SIZE. THE SIGN MUST REMAIN OUTSIDE OF THE SHORT OBTUSION
AREA TRIANGLE (NMC 18.27.060).
- PER KMC 18.36.100(1) FOR RESIDENTIAL ZONING DISTRICTS THE DRIVEWAY TO THE PRIMARY PARKING
AREA MUST BE MAINTAINED BY THE PROPERTY OWNERS OF LOTS 2 AND 3. THE DRIVEWAY MUST BE MAINTAINED
ALTERNATIVE HARD SURFACE AS APPROVED BY THE PLANNING DIRECTOR. THIS INCLUDES ALL PROPOSED
EMERGENCY VEHICLE TURNING AREAS.
- THE CITY OF KENNEWICK IS NOT RESPONSIBLE FOR MAINTENANCE OR REPAIRS OF THE SHARED DRIVEWAY.
THE SHARED ACCESS MUST BE PAVED AND MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION OR BY ALL
THE ADJOINING PROPERTY OWNERS SHARING THE USE.

ROAD MAINTENANCE AGREEMENT NOTE:

THE OWNERS OF LOT 1, LOT 2 AND LOT 3 SHALL BE RESPONSIBLE FOR MAINTAINING THE ACCESS ROAD IN
GOOD REPAIR AND SOUND CONDITION FREE OF DEBRIS AND HAZARDS. THE COST OF WHICH WILL BE
SHARED BY THEM BASED ON THEIR PROPORTIONATE USE OF THE ACCESS ROAD. THE OWNERS OF LOT 1,
LOT 2 AND LOT 3 SHALL INDIVIDUALLY DEFEND AND HOLD THE PARTIES, AND THEIR SUCCESSORS AND
ASSIGNEES, HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, COSTS, REASONABLE ATTORNEY'S FEES,
PENALTIES, OR EXPENSES, INCLUDING WITHOUT LIMITATION, REASONABLE ATTORNEY'S FEES ARISING IN
CONNECTION WITH THE USE, MAINTENANCE, REPAIR AND REPLACEMENT OF THE ACCESS ROAD BY THE
INDIVIDUALS, PARTNERS, OFFICERS, DIRECTORS, SHAREHOLDERS, MANAGERS,
MEMBERS, EMPLOYEES, AGENTS, CONTRACTORS, INVITEES, VISITORS AND ANYONE FOR WHOM THEY ARE
RESPONSIBLE.



SURVEYOR'S CERTIFICATION

I, DAVID P. BALMAIN, A PROFESSIONAL LAND SURVEYOR (REG.# 41028) HEREBY CERTIFY THAT THE SHORT PLAT AS
SHOWN HEREON IS BASED ON AN ACTUAL FIELD
SURVEY OF THE LAND DESCRIBED AND THAT I HAVE
AND THAT SAID SHORT PLAT IS STAKED ON THE
GROUND AS INDICATED HEREON.



SURVEYOR'S NOTES:

- BASIS OF BEARING IS THE SOUTH LINE OF LOT 1, BLOCK 1, UNIT TWO, RANCHETTE ESTATES
PER RECORD OF SURVEY RECORDED IN VOLUME 1 OF SURVEYS, PAGE 4685.
- O = SET 5/8" REBAR WITH YELLOW CAP STAMPED "DPE WA 41028"
- = FOUND 5/8" REBAR, PER RECORD SURVEY 4685 OR AS NOTED.
- (P) = FOUND PER RECORD SURVEY 4685, (C) = COMPUTED, (M) = MEASURED
- EQUIPMENT AND PROCEDURES USED: A LEICA M560 1" (mm + 1ppm) MULTI STATION
USING CLOSED TRAVERSE & RADIAL SURVEY METHODS.

